



# 23029 Sc2018 4ksf Sample Foundation Report

**SUBMITTED BY**  
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☎ 262-534-4544

**CREATED ON**  
2023-08-29

**LOCATION**  
1234 Main St  
53222 Hometown  
WI  
United States



**Floors**  
1

## Notes

No Defects observed. No repairs required. The foundation walls show no significant signs of displacement from the as-built condition. The hairline cracks and honeycombing show no signs of water intrusion. Monitor the condition and patch with an approved urethane or epoxy should water intrusion occur in the future. Currently the exterior grading does not meet regulatory requirements. Adjust grading as appropriate.

## Anderson Foundation Inspections

### DISCLAIMER

This Foundation report is limited to an impartial opinion, based on training and over 17,000 foundation Inspections since 1995. The inspection and report are not a warranty or insurance policy. They do not address latent or concealed defects that may occur in the future that are not evident at the time of this inspection. The report is limited to the components of the foundation that were visible to the inspector on the date of the inspection and his opinion of their condition at the time of the inspection. Unless approved by stamped site specific engineering, all future repairs emergent from this report, shall meet or exceed the Best Management Standards for Foundation Repair as set forth by the Wisconsin Association of Foundation Repair Professionals and Uniform Building Code Sec VI 30.50 This report is not a substitute for an engineer's report. "Stamped site-specific engineering" can be procured at your discretion. Though this will incur an additional inspection fee, it "may" result in a specification requiring less costly repairs.

### CLIENT INFORMATION

**Inspection Address:**  
1234 Main St  
Hometown, WI 53222



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**Customer Name:**  
Homer Buyer

**Inspection Date and Time:**  
August 29, 2023

**Inspection Date and Time:**  
4:30 PM

**Inspection Fee:**  
\$350.00

**INSPECTED BY:**  
Donn Anderson - State of WI UDC Construction Inspector # 70956

## **SITE INFORMATION**

**FRONT FACES (For the purpose of this report):**  
North

**TEMPERATURE (F):**  
70

**Soil Conditions**  
Damp

**DISTANCE FROM GRADE TO SIDING (inches):**  
12

**DISTANCE FROM GRADE TO TOP OF FOUNDATION WALL (inches):**  
19

**ESTIMATED AGE OF HOME/ BUILDING (OR BUILD DATE):**  
2018

**CONCERN FIRST NOTICED (Years/ Months/Weeks):**  
8/25/2023 - during home inspection

**YEARS OWNED:**  
0 - Pre purchase

**TYPE OF FOUNDATION:**  
Basement

**TYPE OF CONCERN:**  
COLD POUR JOINT/S, HONEYCOMBING, WALL CRACK/S



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## INTERIOR DRAINAGE DETAILS:

Sealed Crock - Not tested - Inconclusive

## PRIOR REPAIRS:

None Observed

## CONDITIONS THAT MAY BE CONTRIBUTING TO THE CONCERN

Walkway/s, Driveway/s, Patio/s and or perimeter soils are flat or slope towards the foundation  
Cold Poured Joints in Concrete Walls, Imperfect Consolidation

## INTERIOR LIMITATIONS

### Wall/s and Floor/s

Stored Items

### Floor Drain

Water observed in floor drain/s typically indicates a proper seal from sewer gases

## INTERIOR CONDITIONS

### FLOOR:

Concrete

### FLOOR CONDITION

Unremarkable

### WALL TYPE:

Poured Concrete

### WALL COVERING:

Bare

### WALL HEIGHT:

8' 8"

### SEEPAGE/ SIGNS OF MOISTURE:

None Observed

### WALL CRACKS, MOVEMENT and SETTLING (clockwise from front)

Front Wall

### Front Wall - Crack Type, Displacement Type, Amount

Hairline diagonal cracks, tipped less than 1/8". No current signs of water intrusion. Monitor for 1 year unless seepage is observed sooner. "If" seepage occurs, follow the UBC Chapter VI 30.50 Guidelines for epoxy or urethane injection



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## Left Side Wall - Crack Type, Displacement Type, Amount

No noteworthy deflection, cracking or displacement. No action required

## Rear Wall - Crack Type, Displacement Type, Amount

No noteworthy deflection, cracking or displacement. No action required

## Right Side Wall - Crack Type, Displacement Type, Amount

No noteworthy deflection, cracking or displacement. No action required

## EXTERIOR MAINTENANCE RECOMMENDATIONS

### HEIGHT OF SOILS AND HARD SURFACES

UNREMARKABLE

### DRAINAGE

Properly adjust the slope of earth, concrete, driveway/s, asphalt, etc. at all sides of the structure. With soils, provide a minimum drop of 1/2" for every foot away from the foundation to a point 10' away from the foundation or to the lot line, whichever is less (WI DSPS 321.12). Concrete, asphalt, etc.: 1/4" per foot. Correct and maintain these conditions to help minimize the risk and consequences of hydrostatic pressure against foundation walls. Improper drainage and poorly maintained mortar joints will lead to seepage and structural problems.

### GUTTERS, DOWNSPOUTS AND EXTENSIONS

Keep rain gutters properly sloped and clean

## INTERIOR MAINTENANCE RECOMMENDATIONS -

### FUNGAL GROWTH, MICROBIAL LIKE CHARACTERISTICS

UNREMARKABLE

### WALL SURFACE ABNORMALITIES

Yes

Patch as appropriate with epoxy or urethane (see UBC Chapter VI 30.50(4) l, m, and n at [www.wafrrp.com](http://www.wafrrp.com))

Cold pour joints

## FURTHER EVALUATION

### IS THERE ENOUGH EVIDENCE TO WARRANT DRAIN TILE TESTING?

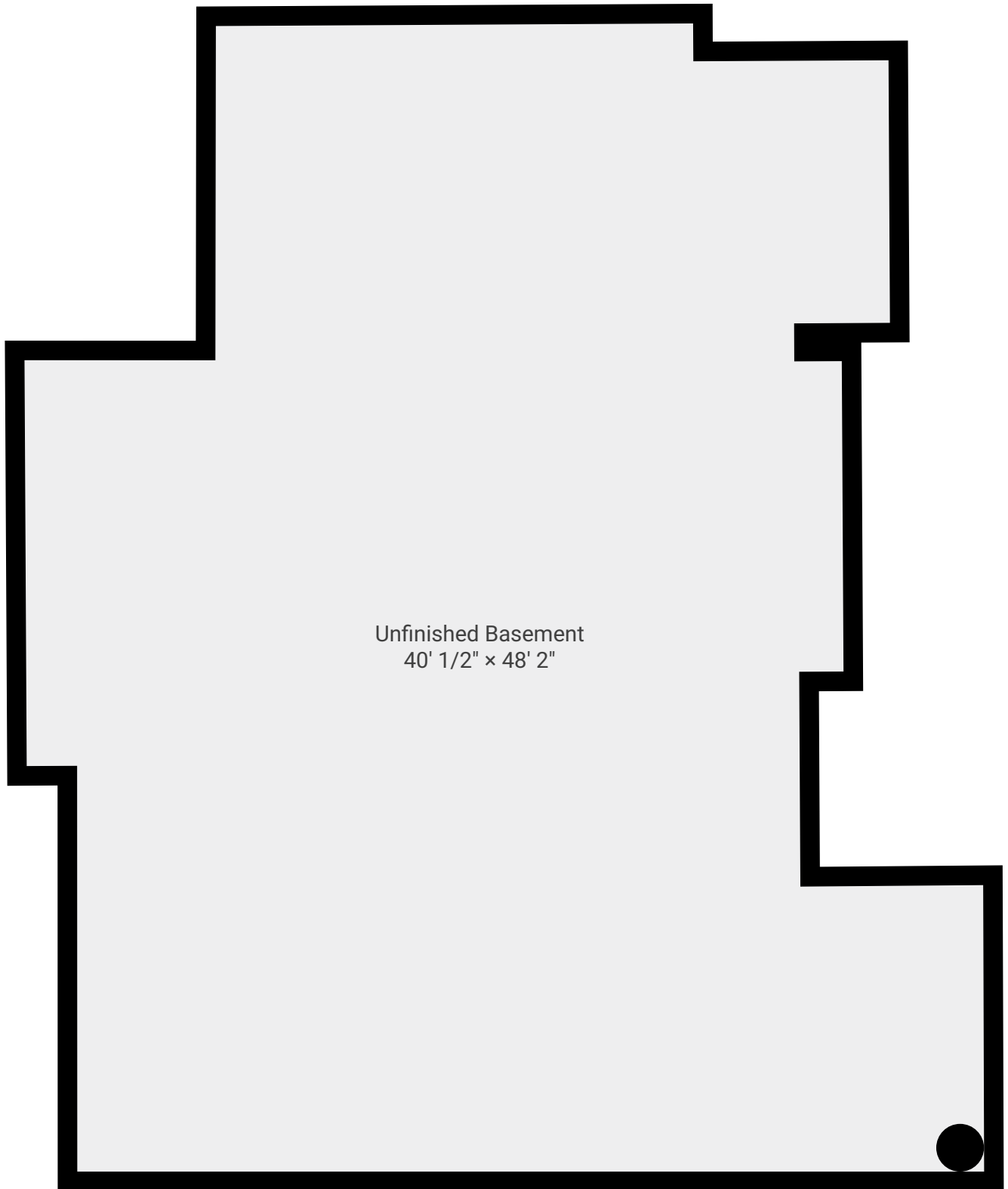
No

## REPAIR RECOMMENDATIONS

### IS THERE ENOUGH EVIDENCE TO WARRANT WALL EXCAVATION? (WALL DISPLACEMENT GREATER THAN 1 INCH)

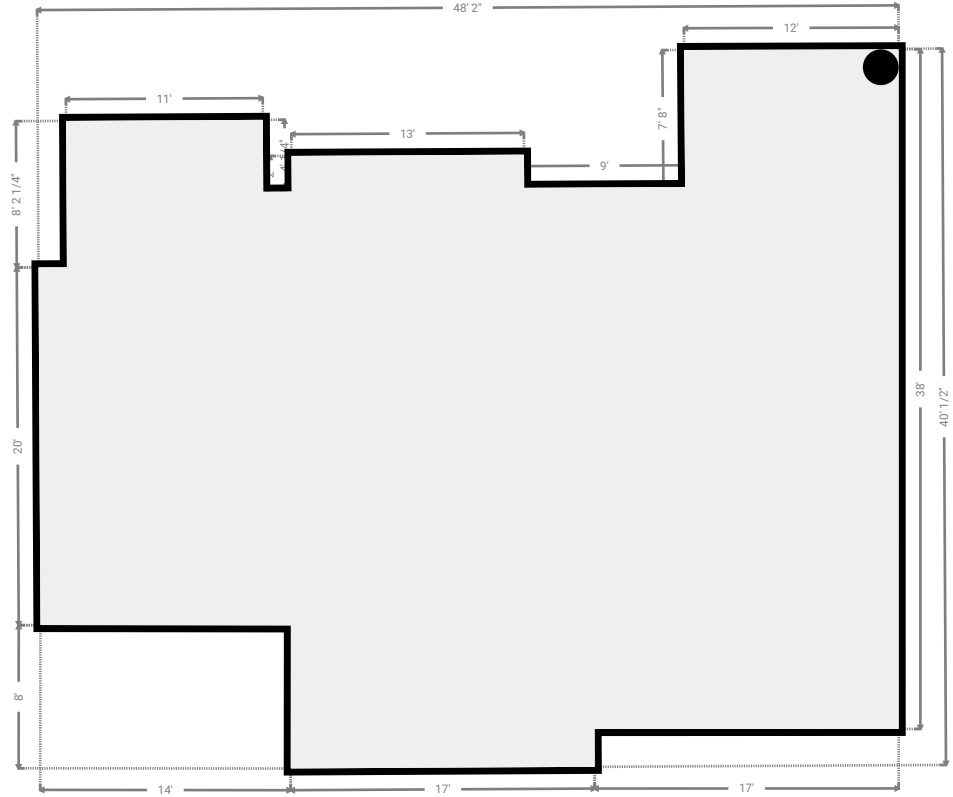
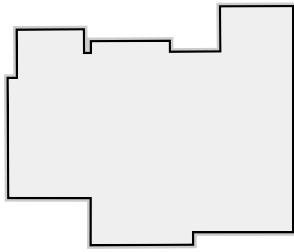
NO

▼ Ground Floor



▼ **Unfinished Basement**  
Ground Floor

WIDTH: 48' 2" • LENGTH: 40' 1/2" • CEILING HEIGHT: 9' 4 3/4"  
AREA: 1559.43 sq ft • PERIMETER: 188'



▼ **Unfinished Basement/Ground Floor**

**Photos**



Photo 1



Photo 2



Photo 3

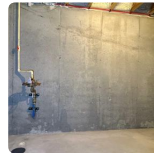


Photo 4



Photo 5

**Notes**

Cold pour in various locations. No signs of seepage. No action required.



▼ Photos/Unfinished Basement

