



Sample Foundation Report

SUBMITTED BY

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CREATED ON

2023-09-26

LOCATION

1234 Main St
53094 Hometown
WI
United States



Floors

1

Notes

The minor seepage in the South wall at the SE corner is due to inadequate consolidation of the concrete at the time of construction, commonly referred to as honeycombing. Foundation walls are all within acceptable structural tolerance. Repairs are not required. Seepage can be controlled by properly adjusting and maintaining the slope of the exterior soils and concrete walkways. Proper application of a hydraulic cement patch will also control seepage.

Anderson Foundation Inspections

DISCLAIMER

This Foundation report is limited to an impartial opinion, based on training and over 17,000 foundation Inspections since 1995. The inspection and report are not a warranty or insurance policy. They do not address latent or concealed defects that may occur in the future that are not evident at the time of this inspection. The report is limited to the components of the foundation that were visible to the inspector on the date of the inspection and his opinion of their condition at the time of the inspection. Unless approved by stamped site specific engineering, all future repairs emergent from this report, shall meet or exceed the Best Management Standards for Foundation Repair as set forth by the Wisconsin Association of Foundation Repair Professionals and Uniform Building Code Sec VI 30.50 This report is not a substitute for an engineer's report. "Stamped site-specific engineering" can be procured at your discretion. Though this will incur an additional inspection fee, it "may" result in a specification requiring less costly repairs.

CLIENT INFORMATION

Inspection Address:

1234 Main St
Hometown, WI 53222

Customer Name:

Homer Buyer



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Inspection Date and Time:

September 26, 2023

Inspection Date and Time:

10:00 PM

Inspection Fee:

\$350.00

Paid in Full:

Check

INSPECTED BY:

Donn Anderson - State of WI UDC Construction Inspector # 70956

EXTERIOR LIMITATIONS

Exterior Limitations

Porch, Leaves, Vegetation, Bump-out, Deck

SITE INFORMATION

FRONT FACES (For the purpose of this report):

West

TEMPERATURE (F):

67

Soil Conditions

Wet

DISTANCE FROM GRADE TO SIDING (inches):

24

DISTANCE FROM GRADE TO TOP OF FOUNDATION WALL (inches):

24

ESTIMATED AGE OF HOME/ BUILDING (OR BUILD DATE):

75 years old

CONCERN FIRST NOTICED (Years/ Months/Weeks):

An isolated honeycombing occurred at the time of the initial construction

YEARS OWNED:

0 - Pre Purchase

TYPE OF FOUNDATION:

Basement, Crawl Space



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TYPE OF CONCERN:

Maintenance, Water, NO REPAIRS REQUIRED, Follow MAINTENANCE RECOMMENDATIONS below, HONEYCOMBING

INTERIOR DRAINAGE DETAILS:

No Sump Crock Observed

PRIOR REPAIRS:

None Observed

CONDITIONS THAT MAY BE CONTRIBUTING TO THE CONCERN

Walkway/s, Driveway/s, Patio/s and or perimeter soils are flat or slope towards the foundation

Surface water entering foundation, Concrete walks slope towards foundation, Poor grading along walls, Storm drain may be broken or blocked, Downspouts not extended, Dry soil, Foundation Cracks, Heavy clay soil, Soil pressure, Tree/s, High water table, Cold Poured Joints in Concrete Walls, Imperfect Consolidation

INTERIOR LIMITATIONS

Floor Drain

Water observed in floor drain/s typically indicates a proper seal from sewer gases, Metal cover/s

INTERIOR CONDITIONS

FLOOR:

Concrete, Bare Earth

FLOOR CONDITION

Unremarkable

WALL TYPE:

Poured Concrete

WALL COVERING:

Bare

WALL HEIGHT:

7' 1"

SEEPAGE/ SIGNS OF MOISTURE:

Mid Wall/s, Active Leaking

WALL CRACKS, MOVEMENT and SETTLING (clockwise from front)

None Observed

Front Wall - Crack Type, Displacement Type, Amount

No cracking, No significant displacement (1/4" or less)



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Left Side Wall - Crack Type, Displacement Type, Amount

No cracking, No significant displacement (1/4" or less)

Rear Wall - Crack Type, Displacement Type, Amount

No cracking, No significant displacement (1/4" or less)

Right Side Wall - Crack Type, Displacement Type, Amount

Honeycombing at right rear wall from poor consolidation at time of construction. No significant displacement. Minor seepage

DRAIN TILE TESTING

Evidence that previous drain tile testing or repairs may have been performed.

No

No signs of previous drain tile testing or repairs were observed.

Confirm with seller

EXTERIOR MAINTENANCE RECOMMENDATIONS

DRAINAGE

Properly adjust the slope of earth, concrete, driveway/s, asphalt, etc. at all sides of the structure. With soils, provide a minimum drop of 1/2" for every foot away from the foundation to a point 10' away from the foundation or to the lot line, whichever is less (WI DSPS 321.12). Concrete, asphalt, etc.: 1/4" per foot. Correct and maintain these conditions to help minimize the risk and consequences of hydrostatic pressure against foundation walls. Improper drainage and poorly maintained mortar joints will lead to seepage and structural problems.

BASEMENT WINDOWS AND WINDOW WELLS

UNREMARKABLE

GUTTERS, DOWNSPOUTS AND EXTENSIONS

Extend downspouts 5-10' away from foundation, Keep rain gutters properly sloped and clean, Raise downspout elbows 1'-2' off the ground, Extend downspouts 5' - 10' away from the foundation, Raise downspout elbows 1' - 2' off the ground

INTERIOR MAINTENANCE RECOMMENDATIONS -

FUNGAL GROWTH, MICROBIAL LIKE CHARACTERISTICS

UNREMARKABLE

WALL SURFACE ABNORMALITIES

Yes

Patch as appropriate with epoxy or urethane (see UBC Chapter VI 30.50(4) l, m, and n at www.wafrp.com)

Cold pour joints, Honeycombing

FURTHER EVALUATION



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IS THERE ENOUGH EVIDENCE TO WARRANT DRAIN TILE TESTING?

No

REPAIR RECOMMENDATIONS

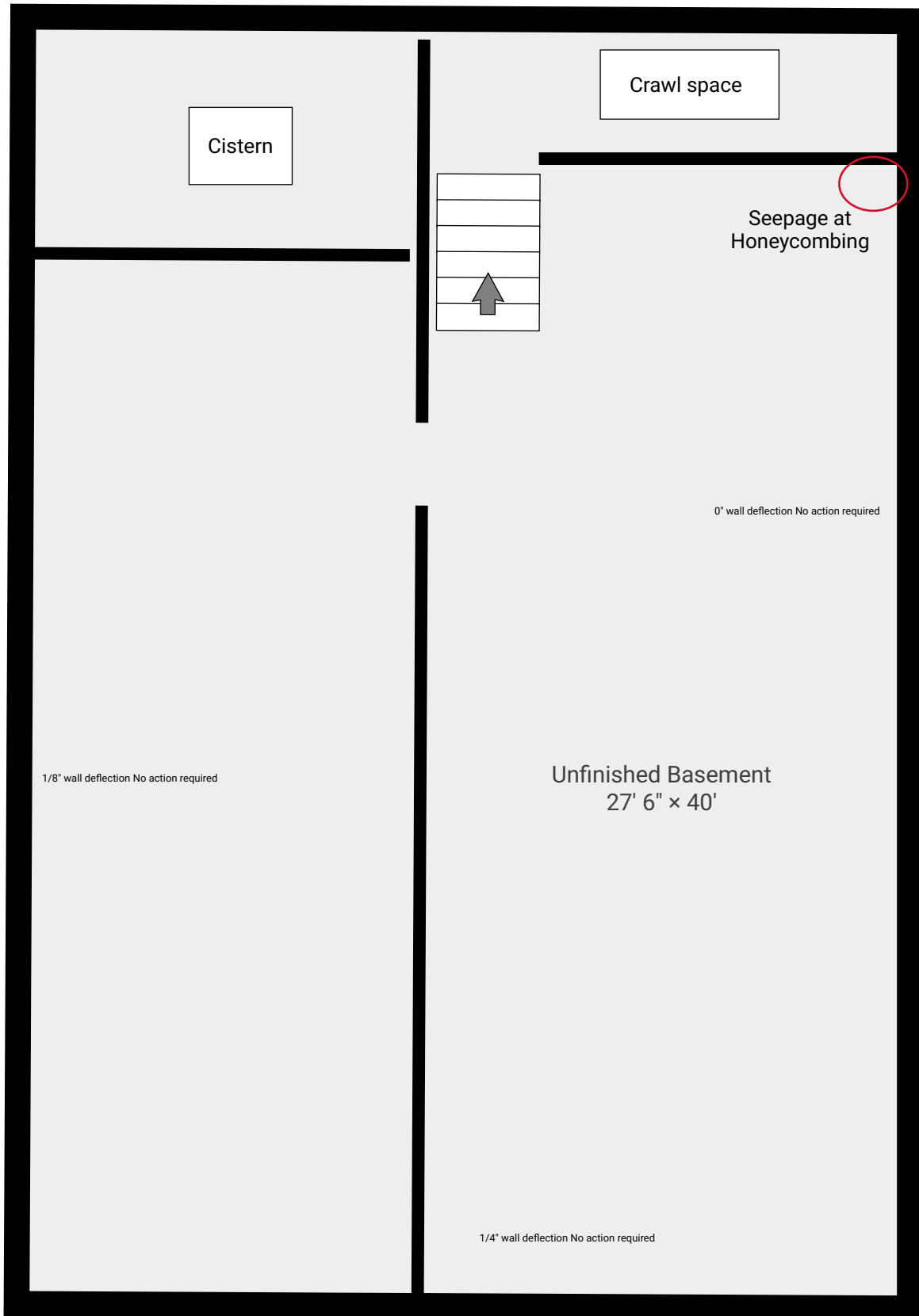
IS THERE ENOUGH EVIDENCE TO WARRANT WALL EXCAVATION? (WALL DISPLACEMENT GREATER THAN 1 INCH)

NO

CEILING FRAMING ANOMOLIES

Unremarkable

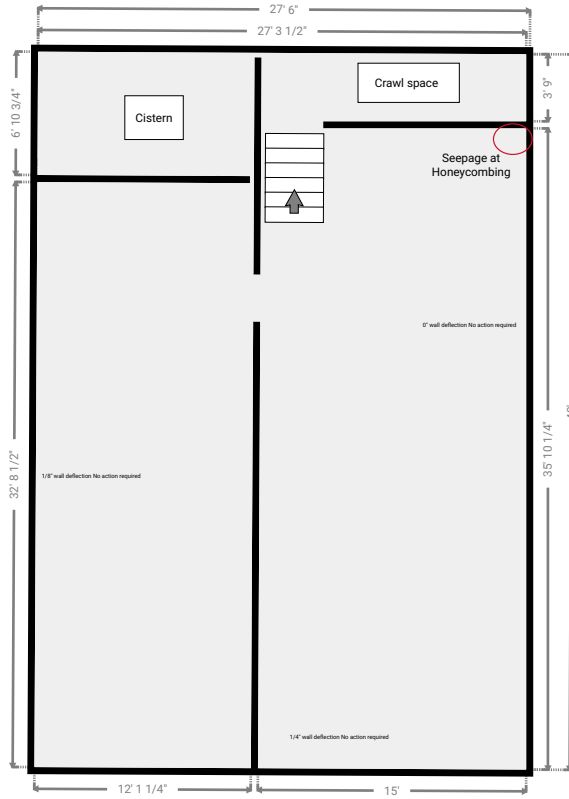
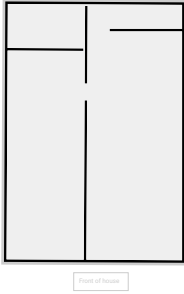
▼ Unfinished Basement



Front of house

▼ **Unfinished Basement**
Unfinished Basement

WIDTH: 27' 6" • LENGTH: 40'
AREA: 1070.81 sq ft • PERIMETER: 260' 9 1/4"



▼ **Unfinished Basement/Unfinished Basement**

Photo



▼ Photos/Unfinished Basement

