



Anderson Home Inspection, llc
5712 W Peninsula Rd
Waterford,, WI 53185

262.534.5075

Property Inspection Report



12345 Sample Trail
Nashota, WI 53058

Defect Health/ Safety Issue Summary

Defect means a condition of any component of an improvement that a home inspector determines, on the basis of the home inspector's judgment on the day of an inspection, would significantly impair the health or safety of occupants of a property or that, if not repaired, removed, or replaced, would significantly shorten or adversely affect the expected normal life of the component of the improvement.

Repair, replace, maintain or address as appropriate. If costs to properly address this/ these conditions is important to you, or if you are unsure of cost/s or negative consequences, contact a qualified specialist for further evaluation of this and all similar components/ conditions for remedial cost estimates prior to the end of your inspection contingency.

NOTE: This summary is provided for convenience and is not a substitute for reading the entire report and should not be relied upon as the complete list for the client's reference. For the purposes of the report, defect, as defined in section 440.97 (2m), Wis. Stats., means a condition of any component of an improvement that a home inspector determines, on the basis of the home inspector's judgment on the day of an inspection, would significantly impair the health or safety of occupants of a property or that, if not repaired, removed, or replaced, would significantly shorten or adversely affect the expected normal life of the component of the improvement. The contract of sale may define defect to also include a condition that would have a significant adverse effect on the value of the property, but such a condition may not be labeled a defect in the report unless it meets the definition in section 440.97 (2m), Wis. Stats. NOTE: A home inspector may not report on the market value or marketability of a property or whether a property should or should not be purchased.

Notice to all Buyers and Sellers regarding Defects

A Wisconsin statute requires that the inspector use the term defect in describing certain conditions. The statute includes a specific definition of the term defect. If this inspection relates to a Purchase Contract (accepted offer to purchase), it is likely that the Purchase Contract uses a definition of the term defect that is materially different from the definition in the inspection statute. The inspector expresses no opinion as to whether any condition referred to in the inspection report constitutes a defect as defined in any Purchase Contract.

If you have questions about these different definitions of defect or how any condition described in the inspection report affects the rights and obligations of buyers and sellers under your Purchase Contract, you should consult your realtor or your attorney.

Garage

1. Side Garage Automatic Reverse: Safety beam sensors were functional at the time of the inspection. Test frequently per manufacturer's specifications - **DASMA 10 - Reasonable resistance did not cause garage door operator to reverse or stop. Excessive force was not used due to the risk of damaging the door, linkage, motor, etc.**

Fireplace/Wood Stove

2. 1st Floor Fireplace Damper: Metal - **No damper clamp. For safety, damper clamp installation is required on gas burning fireplaces to prevent the damper from closing completely and creating a path for dangerous gases such as carbon monoxide to enter the living area**



Defect Needs Attention/ Further Evaluation Summary

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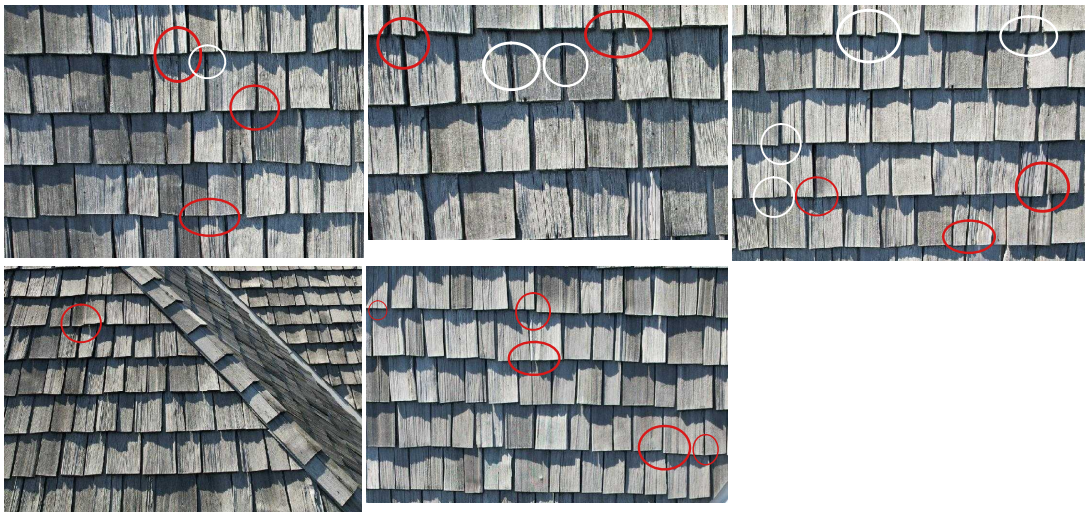
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Roof

1. The Roof Surface Material/s: Wood shake - The cedar shake roof is 18 years old and showing signs of splitting and wear, exposing the felt paper below (white ellipses). The shake lap spacing is less than 1.5 inches (red ellipses) (cedarbureau.org), Contact a qualified "CEDAR SHAKE ROOFING SPECIALIST" for further evaluation and a remedial cost estimate



2. The Roof Surface Signs of Leaks: ! Cedar shake spacing is no longer adequate due to normal wear/ weathering. Contact a qualified specialist for further evaluation and approval or a remedial cost estimate

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Defect Needs Attention/ Further Evaluation Summary (Continued)

Air Conditioning

3. Side AC System Temp. Differential: ! The temperature differential was not within acceptable standards between 14 and 22 degrees. Contact a qualified specialist for further evaluation prior to the end of your inspection contingency
4. Side AC System Special Attention A/C: ! 1 of 2 units is Pre 2010. On January 1, 2010, there was a ban on the production and import of R-22. As a result, manufacturers of air conditioning equipment redesigned their systems to accommodate R-410A, a chlorine-free refrigerant compared to R-22. I.e., CONFIRM THAT THE SYSTEM CAN STILL BE SERVICED



Heating System

5. Basement Heating System Special Attention HVAC: ! Leaking at plenum poses an above average safety risk of damage to the furnace. Contact a licensed heating contractor for a service and safety check to include combustion safety testing and evaluation of the heat exchanger for damage prior to the end of your inspection contingency. A heating contractor may find other conditions beyond the scope of this inspection that may be significant



Inconclusive/ Limited Inspection Summary

The System or Component was not fully inspected due to lack of accessibility, risk of damage, lack of power, for health/ safety reasons, it was disconnected or not responding to normal operating controls at time of inspection. Unknown conditions exist. If the negative consequences are important to you, or if you are unsure of the negative consequences, contact a qualified specialist for further evaluation.

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Garage

1. Side Garage Unable to Inspect: ! Stored belongings and wall coverings limit visual assessment. Ratings of all Systems and Components are based on observable conditions



Foundation

2. The Basement Unable to Inspect: ! Wall covering/s and/ or stored personal belongings limit visual assessment. Ratings are based on conditions observed at the time of the inspection

Interior

3. The Living Space Limitations LVA> - Limited Visual Assessment - Furnishings, personal belongings and/or stored items limited visual access to electrical outlets, heat sources, registers, windows, walls, interiors of closets, interiors of laundry room, kitchen and bathroom cabinets, etc. Moving personal belongings is beyond the scope of this inspection. Determining the function of all electrical outlets is beyond the scope of this inspection. Determining the adequacy or balance of heat supply registers & returns, etc. is beyond the scope of this inspection. All Ratings in this report are based solely on observable conditions. Consider a personal walk-through after belongings have been removed, prior to the end of your inspection contingency to confirm conditions not observed at the time of the inspection

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Inconclusive/ Limited Inspection Summary (Continued)

Attic

4. Overhead Attic Unable to Inspect: ! Insulation limited visual assessment. Ratings are based on observable conditions
5. Overhead Attic Vapor Barrier: ! Insulation limits visual assessment. Existence/ condition undetermined

Maintenance Summary

Attention advised: Address, correct, improve, service, repair or replace.

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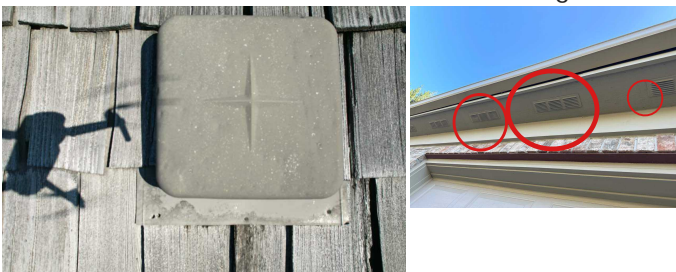
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Roof

1. The Roof Surface Vegetation: ! Branches are too close to or rubbing against roof. Trim back and maintain a minimum of 2' away from the roof to minimize the risk of premature wear



2. The Roof Surface Ridge Cap: ! Worn. Repair/ replacement advised
3. The Roof Surface Ventilation: Static vents high & Louvered soffit vents - Hail exposure noted on static vents



Exterior

4. The Exterior Surface Steps: Brick - Step heights are not uniform; greater than 3/8-inch difference in height. Though this condition may have been acceptable at the time of construction and upgrading may not be required, for safety reasons, we advise confirming compliance or upgrading to meet current regulatory requirements - WI DSPS 321.04 (2) (e) 1

Exterior (Continued)

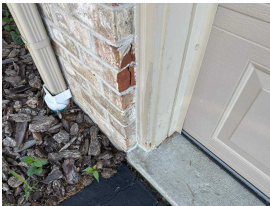
Steps: (continued)



5. The Exterior Surface Vegetation: ! Vegetation is too close to structure/ siding. Trim back and maintain a minimum of 2' away from the structure to minimize the risk of premature wear and allow monitoring of the slope of the grade. Vegetation too close to the foundation can decay after droughts during extreme dry seasons and create paths for water entry subject to freeze/ thaw episodes resulting in extreme pressure against the foundation wall/s



6. The Exterior Surface Siding/ Cladding: Brick - Spalling brick



7. The Exterior Surface Drainage/ Grading: ! Adjust and maintain soils to slope away from the foundation at all sides of the home to provide a minimum drop of 1/2 - 1 for every foot away from the foundation to a point 10' away from the foundation or to the lot line, whichever is less (SPS 321.12) to help minimize the risk of seepage and other water related foundation problems. Adjust hard surfaces such as driveways, concrete walks, asphalt, etc. at all sides of the structure to provide a minimum drop of 1/4 - 1 for every foot away from the foundation. Swales will help direct water away from the foundation. Create swales within the first 5 feet of the foundation to help direct water away from softer loose backfill adjacent to the structure

Garage

8. Side Garage Driveway/ Slab: Settling - Irregularities in walking surfaces pose trip/ fall hazards. Address as appropriate



Maintenance Summary (Continued)

Foundation

9. The Basement Moisture/ Seepage: ! Dampness,

Moisture at base of wall/s,

Microbial like characteristics. Have affected areas evaluated by a qualified specialist such as a microbiologist for confirmation and a remedial cost estimate if warranted; especially if there are family members or pets with compromised immune system or sensitivities to mold



Bathroom

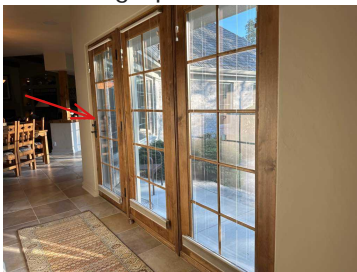
10. 1st floor Half Bathroom Toilets: Two piece - > Loose toilet. If toilet has been leaking, there may be concealed damage or microbial growth below the finished floor. Removing the toilet to determine sub-floor conditions is beyond the scope of this inspection. If the potential negative consequences of concealed conditions are important to you, contact a qualified specialist for further evaluation

Interior

11. The Living Space Entry Door/s: Wood with glass panel/s - Weather stripping is damaged



12. The Living Space Patio Door/s: Glass panel - Hardware glitch. Not latching easily



Maintenance Summary (Continued)

13. The Living Space Window/s: Casement - Some worn paint, some decayed wood. Repair/ address all windows in need as appropriate.

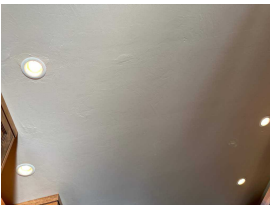


14. The Living Space Smoke/ CO Detectors: Smoke Detector/s observed. For safety, adherence with current NFPA requirements is advised. I.e. one on each floor - Not all required Carbon Monoxide detectors or Smoke alarms were observed or properly installed. Smoke and Carbon Monoxide (CO) detectors shall be installed at every floor level of every home, including basements and crawl spaces. Even if they are present during the inspection, we recommend installing new detectors at time of occupancy if you are unsure of their age. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should also be in any room with a wood-burning stove or fireplace. Once you take possession of the home, detectors should be tested regularly, and replaced per manufacturer's recommendation or at least every 5 years. Smoke detector batteries should be replaced annually. We strongly advise the use of photoelectric smoke detectors in conjunction with ionization smoke detectors



Kitchen

15. 1st Floor Kitchen Ceiling Stains: ! Intentional irregularities in finish coat often resemble patching. Confirm history with seller



Fireplace/Wood Stove

16. 1st Floor Fireplace Special Attention Fireplace: ! Service/ cleaning advised prior to the end of your inspection contingency to confirm operation and to assure no flue blockage from leaves, nests, etc

Attic

17. Overhead Attic Insulation: Fiberglass loose fill R 2.5/in - Low areas. Uneven/ inadequate insulation. This may result in condensation problems during winter months. Address as appropriate

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Attic (Continued)

Insulation: (continued)



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Definitions

NOTE: All definitions listed below refer to the opinion of the inspector as to the condition of the system or component of the property as observed at the time of inspection. IMPORTANT: Any rating or verbiage indicating that a condition is sub-standard, deficient, in need of attention, correction, improvement, maintenance, repair, replacement, remedial action, etc. indicates our advice to contract a qualified professional of YOUR CHOICE, PRIOR to the end of your inspection contingency for further evaluation, not just of that item, but of the entire SYSTEM for approval or a remedial cost estimate. Since a Home Inspection is not a technically exhaustive inspection by a specialist, but rather an inspection of readily accessible, observable systems and components by a trained professional, there may be evidence of sub-standard conditions or non-professional workmanship, the extent of which and the estimation of remedial cost/s would not be within the scope of this inspection.

UNREMARKABLE

The system or component appears to be performing its intended function as intended, appropriate for its age and use at the time of this Inspection.

Defect Health/ Safety Issue

An apparent Health or Safety Defect. We advise contacting a Qualified Specialist for further evaluation and approval or a remedial cost estimate prior to the end of your inspection contingency.

Defect Repair Quote Advised

Repair, replace or address as appropriate. Proper attention to this and all similar components/ conditions is advised. If costs to properly address this/ these conditions are important to you, or if you are unsure of cost/s or negative consequences, contact a qualified specialist to evaluate and approve or provide a remedial cost estimate prior to waiving the rights of your inspection contingency.

Defect Needs Attention/ Further Evaluation

"Apparent or Suspect Defect Condition. Restore to a good or sound condition by making good, strengthening, repair, etc. Have a Qualified Specialist evaluate and identify our concerns and any related concerns not visible to the inspector or beyond the scope of this inspection and specify any recommended upgrades that could affect YOUR evaluation of the property, prior to waiving your Inspection contingency.

Inconclusive/ Limited Inspection

Inconclusive/ Limited Inspection There is not enough observable information to form a meaningful opinion within the scope of this home inspection. The System or Component was not fully inspected due to lack of accessibility, risk of damage, lack of power, for health/ safety reasons, it was disconnected or not responding to normal operating controls at the time of the inspection. Unknown conditions exist that may be a DEFECT. To reduce your risk of significant consequences, we advise further evaluation and approval or a remedial cost estimate of this and all other similar systems or components by a QUALIFIED SPECIALIST prior to the end of your inspection contingency.

We advise you to distinguish between contractors licensed TO EVALUATE THE CONDITION and provide a PROPER SPECIFICATION OF REPAIRS and those only qualified TO PERFORM THE WORK. If you are unsure of the consequences, we advise you to seek counsel from a Qualified Specialist.

Maintenance

System or Component can benefit by improvement/ maintenance/ attention. To some degree, the urgency to address, improve, repair, replace, or service this and all similar conditions as appropriate, is subjective. If you are unsure of remedial costs and this is important to you, contact a qualified specialist for further evaluation and cost estimate/s.

General Information

Property Information

Property Address: 12345 Sample Trail

City: Nashota State: WI Zip: 53058

AirMap SAFE TO FLY per B4UFLY - Confirm onsite

Client Information

Client Name: Homer Buyer

Anderson Home Inspection, LLC

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Prepared for: Homer Buyer

12345 Sample Trail

General Information (Continued)

Inspection Company

Inspector Name: Donn Anderson
Company Name: Anderson Home Inspection, LLC
Inspection Company Address: 5712 W Peninsula Rd
Inspection Company City: Waterford, State: WI Zip: 53185
Inspection Company Phone: (262)534-5075

Conditions

Others Present: Buyer/ Buyer's agent Property Occupied: Yes - The property was occupied or staged at the time of the inspection. Common limitations to inspections of occupied properties include: 1. Performance or condition of windows blocked by furniture or stored items. 2. Performance or condition of under sink plumbing blocked by stored items. 3. Performance or condition of inaccessible electrical outlets. 4. Condition of Walls or Floors covered by furnishings and or personal belongings.

The WI Standards of Practice does not require inspectors to move or climb over obstructions to facilitate inspections. For liability and safety reasons, Anderson Home Inspection, LLC will not touch personal property to facilitate inspections under any circumstances.

Inspection Date: 2023-09-14

Start Time: 2:30 PM End Time: 6:15 PM

Electric On: Yes

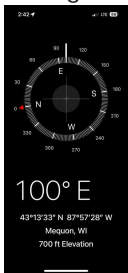
Gas/Oil On: Yes

Water On: Yes

Temperature (F): 69

Weather: Sunny, Clear Soil Conditions: Dry

Front Faces: East is the direction the house is assumed to be facing regardless of the actual direction the home is facing, in order to simplify orientation in this report



Space Below Grade: Basement

Building Type: 2005 Ranch 5642sf 3/1 baths w Radon Garage: Attached

Note IMPORTANT: A HOME INSPECTION is NOT A CODE INSPECTION. IF REMODELING HAS BEEN DONE, OR YOU SUSPECT THAT REMODELING HAS BEEN DONE, CONTACT THE MUNICIPALITY TO CONFIRM THAT ALL PERMITS WERE PULLED AND CLOSED. A HOME INSPECTION IS NOT A HOME WARRANTY, IT IS NOT A MAINTENANCE LIST, IT IS NOT A PUNCH LIST OR A WISH LIST OF ITEMS YOU FEEL SHOULD HAVE BEEN MAINTAINED TO YOUR STANDARDS. IT IS PRIMARILY ABOUT DEFECTS. OTHER CONDITIONS HAVE BEEN LISTED AS A COURTESY BECAUSE WE FEEL THE MORE KNOWLEDGE YOU HAVE, THE BETTER YOU WILL BE PREPARED TO MAKE A WELL-INFORMED HOME BUYING DECISION

A HOME INSPECTION is a process by which a home inspector examines the OBSERVABLE systems and components to real property that are readily accessible. A competent and diligent home inspection is not technically exhaustive. Learn

General Information (Continued)

more about a home inspection by reading the WI state Standards of Practice.

A HOME WARRANTY is a service contract that will help cover repairs or replacements to the major components of a homes systems and appliances that fail. It is like an insurance policy. Read the terms of any Home Warranty company policy prior to purchasing. Different policies cover different components for different lengths of time and with different deductibles.

VERY IMPORTANT: If you want to reduce your risks of encountering problems, beyond the scope of a Home Inspection, after you move in, we STRONGLY encourage you to discuss the benefits of obtaining A HOME WARRANTY with your real estate agent or attorney.

PURPOSE, LIMITATIONS AND INSPECTOR/ CLIENT RESPONSIBILITIES

It is IMPORTANT that you READ the Entire Report, PARTICULARLY and starting with the SUMMARY/S. If any issue is unclear, contact the inspector for clarification PRIOR to the end of your inspection contingency. This property inspection report includes an inspection Agreement/ Contract and may include addenda and other information related to property conditions. By not following our advice for Further Evaluation or Service by a Qualified Specialist, you violate the terms of our Agreement/ Contract and will hold Anderson Home Inspection, LLC and its Inspectors, harmless for any subsequent alleged defects or deficiencies.

The Inspection and Report will conform to CURRENT Standards of Practice set forth in WI State Statute 440.975 and SPS 131 Subchapter IV of the Wisconsin Administrative Code.

Per the WI State Standards of Practice, the inspector does NOT turn on decommissioned equipment, systems, and utility services or apply any open flame or light a pilot to operate any appliances. The inspector does NOT climb over obstacles, move furnishings or stored items. For liability and safety reasons, the inspector will not move personal property to facilitate inspections under any circumstance.

A HOME INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS.

Per the State of WI Standards of Practice, NOT EVERY WINDOW, DOOR, ELECTRICAL OUTLET, PLUMBING FITTING, ETC. IS INSPECTED.

CONDITIONS NOTED IN THE REPORT, and IMAGES/ PHOTOS of various Systems or Components represent only a SAMPLE of the current condition and may or may not be indicative of the condition of all similar components. For example, an image or comment regarding a rotted wood window sash does not necessarily indicate that all of the wood window sashes are rotted nor does it necessarily indicate the only rotted window sash. A comment regarding poor flashing at the chimney does not necessarily indicate that all of the roof flashing is in poor condition, nor is it indicative of the only instance of poor flashing. Since it is beyond the scope of this inspection to observe every window, door, electrical outlet, etc., if the report indicates that there is a sub-standard condition of a component or system, we advise further evaluation of ALL similar components/ systems; i.e., roof flashings, windows, doors, electrical outlets, trim, etc. by a qualified professional prior to the end of your inspection contingency to confirm quantities of components needing repair, replacement, attention, etc. and a remedial cost estimate.

General Information (Continued)

The inspection does not reveal every deficiencies. A real estate inspection HELPS REDUCE SOME OF THE RISK involved in purchasing a home, but it does not eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is advised that you obtain as much information as is available about this property, including sellers disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspectors responsibility to confirm that information obtained from the sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

IMPORTANT: A Home Inspection is NOT an inspection for CODE COMPLIANCE. Reference to a code or statute may be included in the report to indicate the condition is not solely the opinion of the inspector. Regulatory or Code requirements vary by municipality and are continuously revised. Some existing conditions which may have been acceptable at the time of construction, may not comply with today's minimum standards and may not require updating. They may be listed in the report as ENC (Existing Non-Compliant). Residential construction codes went into effect in Wisconsin, after 1/1/1980. There may be suggestions or recommendations of upgrading or updating certain conditions to help minimize health or safety risks.

Some materials in the report may be described as Painted. Determining the material below the painted surface is beyond the scope of this inspection. Some systems or components may not have been visually accessible due to stored personal belongings, furnishings wall covering, etc. You may find LVA (Limited Visual Access) or Limitations in the report. If you see this designation, Ratings designated to this system or component are limited to observable conditions. Do not hesitate to contact us to discuss the consequences of not having a more invasive inspection of these systems or components. Ratings of Systems or Components that had Limited Visual Access are only in regards to conditions that were observed at the time of the inspection.

IMPORTANT: LVA (Limited Visual Assessment) Where references are made to visual limitations due to stored belongings, furnishings, insulation, etc., ratings of conditions are based solely on conditions observed at the time of the inspection.

MOLD DISCLAIMER: Mold and microbial growth investigation is not included with this report. It is beyond the scope of this inspection and any reference to water intrusion or microbial growth should be fully evaluated by a licensed specialist such as a microbiologist or industrial hygienist if more information is required.

As Appropriate, is used throughout the report and may mean per the manufacturer's specifications/ recommendations or per industry standards when discussing the condition of Mechanical, Electrical and Plumbing systems and it may be subjective based on what is appropriate or acceptable to YOU if it's in regards to the condition of wood windows or other components that arguably may be cosmetic and beyond the scope of this inspection. Though wood may have dark blotchy stains, it is not necessarily rot or a condition that would significantly compromise the function of a window. People have different opinions regarding acceptable or appropriate. When using the word in the subjective sense, it's important to consider whether or not the condition would be considered a Defect or if it is more of a Maintenance condition. Ask yourself if you are willing to walk away from the property over a specific condition and risk losing your investment to date.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the

General Information (Continued)

clients responsibility to obtain further evaluations and/ or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as your home inspection contingency. Evaluations by qualified specialists may lead to discovery of additional deficiencies which may involve additional repair costs. Failure to evaluate sub standard conditions noted in this report may lead to further deterioration of the condition and add to the original remedial costs. The inspector does not and is not required to provide follow-up services to verify that proper repairs have been made. Every item of concern should be re-inspected and corrected by a specialist. Do not fix it yourself. If you suspect that a concern might be the result of amateur work, have a specialist re-examine the entire system to see if the amateur made errors elsewhere. If you allow a seller to correct concerns, you will likely not have any legal recourse if the remedial action proves to be inadequate.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof at the time of the inspection, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid.

IMPORTANT: Any rating or verbiage indicating that a condition is questionable, sub-standard, adverse, in need of attention, correction, improvement, maintenance, repair, replacement, remedial action, etc. indicates our advice to contract a qualified professional of YOUR CHOICE, PRIOR to the end of your inspection contingency for further evaluation of that System and approval or a remedial cost estimate. The negative effects of substandard Electric, Plumbing, Carpentry, etc. can be costly and have hazardous consequences.

This Report is for the exclusive use of our client/s with this transaction only and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

Note: If remodeling has been done, contact the municipality and confirm that all building/ remodeling permits have been pulled and closed. Contact your insurance agent to learn if the house has had water or fire claims. If repair work has been performed without the benefit of a permit, you could be exposed to the negative consequences of sub-standard workmanship.

IMPORTANT: This report is the sole intellectual property of the client/s named on the cover page and is not transferable to interested 3rd parties.

When you purchase a home that is 20 years old or more, it is important to realize that Roofs, Heating and Cooling systems, Windows and Water Heaters may be past the end of their design lives and may need replacement. Often these systems and components have already been replaced. Windows in particular can last much longer than 20 years if they are properly maintained. Insulated glass panels in windows will often have failed seals or fogging and condensation after 20 years. Proper maintenance is usually the key to longevity. Even if there are no unusual outward signs of wear on a furnace or air conditioner, there may be concealed issues that cannot be determined with a visual home inspection. If you want a more thorough evaluation of any system or component than what is within the scope of a home inspection, contact a qualified specialist for further evaluation.

General Information (Continued)

Agent: N/A

Roof

WI Standard of Practice for Home Inspectors, RL 134.04 (1)(d) requires that an inspector: Describe the condition that if not repaired, will have significant adverse effect on the life expectancy of the Roof & (e) List any material adverse facts that a home inspector has knowledge of or has observed. A Wisconsin Home Inspector is not required to walk on the roof, observe attached accessories such as solar heating systems, antennae, lightning arrestors or internal gutter and downspout systems. The description of the roof and its components is for general information only.

Normal roof maintenance includes: 1. Annual evaluation and as needed, maintenance, repair or replacement of flashing at roof penetrations, transitions, and terminations. (e.g.: chimneys, plumbing stacks, dormer sidewall flashings, valleys, electrical mast head assembly, etc.), 2. Periodic caulking of flashing and exposed nail heads to prevent leaks, 3. Occasional repair or replacement of damaged sections of roof covering. NOTE: Roofs often leak at chimney surfaces, chimney flashing, sidewall flashing and other transitions, penetrations and terminations. Unless it is raining at the time of the inspection, and or there are significant holes in the roof covering or flashings, roof leaks are extremely difficult if not impossible to predict. Though the flashing around the chimney may appear to be unremarkable at the time of the inspection, water may enter a tiny gap at the chimney/ flashing at times of significant rain or snow melt. Water infiltration at the chimney/ flashing is an ongoing maintenance issue that is the responsibility of all property owners. Dormers typically have sidewall and lower flashings that deteriorate over time and require attention. Be sure to check all roof flashings as part of your normal maintenance routine to prevent water infiltration. Improper roof drainage is one of the major contributing factors to foundation problems. Gutters and downspouts must be kept clean and properly extended at least 5' - 6' away from the foundation walls. There should be one downspout for every 600 - 800 square feet of roof covering. Winter freeze/ thaw conditions are unpredictable. Due to the negative consequences associated with ice dams during Wisconsin winters, we strongly encourage you to read: Ice damming: <http://www.carsondunlop.com/pdf/re-thinking%20ice%20damming.pdf>

Determining the age of the roof covering, the number of layers or compliance with manufacturer's installation requirements is beyond the scope of this inspection. Lifting sealed shingles poses a risk of damage and susceptibility to future wind lift, ice damming problems and water infiltration. Roof and trim flashing can often hide the actual number of layers. There can be a significant cost difference in removing multiple layers of shingles as opposed to removing one layer.

Unless documented otherwise in this report, the roof covering appears to be shedding water as intended by design at the time of the inspection.

The Roof Surface

1. Method of Inspection: Drone, Ground level with binoculars. The Inspector inspected the roofing materials and components from the ground

Roof (Continued)

2. Defect Needs Attention/ Further Evaluation Material/s: Wood shake - The cedar shake roof is 18 years old and showing signs of splitting and wear, exposing the felt paper below (white ellipses). The shake lap spacing is less than 1.5 inches (red ellipses) (cedarbureau.org), Contact a qualified "CEDAR SHAKE ROOFING SPECIALIST" for further evaluation and a remedial cost estimate



3. Maintenance

Vegetation: ! Branches are too close to or rubbing against roof. Trim back and maintain a minimum of 2' away from the roof to minimize the risk of premature wear



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12345 Sample Trail

Roof (Continued)

4. Maintenance

5. UNREMARKABLE

6. UNREMARKABLE

7. UNREMARKABLE

8. UNREMARKABLE

Ridge Cap: ! **Worn. Repair/ replacement advised**

Sags/ Crowns: No noteworthy roof sag was observed at the time of the inspection

Flashing: Metal

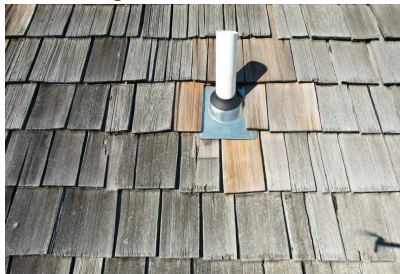
Valley/s: Preformed metal

Skylight/s: Solar tube/s



9. UNREMARKABLE

Plumbing Vent/s: PVC



10. UNREMARKABLE

11. Defect Needs Attention/ Further Evaluation

Gutters & Downspouts: Metal

Signs of Leaks: ! **Cedar shake spacing is no longer adequate due to normal wear/ weathering. Contact a qualified specialist for further evaluation and approval or a remedial cost estimate**

Ventilation: Static vents high & Louvered soffit vents - **Hail exposure noted on static vents**

12. Maintenance



Roof (Continued)

South, Side Chimney
13. UNREMARKABLE

Chimney: Brick



14. UNREMARKABLE
15. UNREMARKABLE

Flue/ Crown (cap): Metal flue/ metal cap
Chimney Flashing: Metal

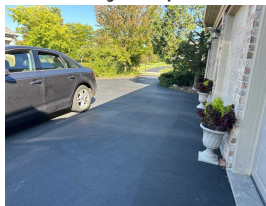
Exterior

The inspection of the exterior is limited to readily accessible observable conditions. Paint and stain limit the evaluation of component composition & condition. Descriptions are based on observable appearance rather than substrate analysis. Finishes such as paint and stain should be maintained to prevent premature deterioration of trim and siding. Though the presence or condition of storm and screen windows and doors is beyond the scope of this inspection we recommend using and maintaining storm windows to help minimize energy costs. Periodic caulking around windows, doors, siding trim, utility openings, concrete joints abutting the home, etc., is a typical part of home maintenance to minimize risk of water infiltration and its consequences such as rot and mold. Due to the high cost of foundation repairs proper slope of surfaces directly adjacent to foundation walls must be maintained. 1/2 per foot for a minimum of 10' or to the lot line, whichever is less. WI DSPS 321.12. The slope of the soils and surfaces adjacent to the house can change depending on factors such as erosion, rain, drought, wind, snow, frost, and thaw. Neglect of proper drainage, including adequate slope of walks, patios, stoops, and driveways contribute to water infiltration, foundation movement and failure. <http://www.youtube.com/watch?v=5hYIda7tWqA&feature=share>
<http://www.youtube.com/watch?v=1UflgbadQXE>

The Exterior Surface

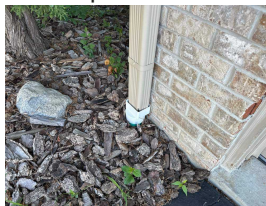
1. UNREMARKABLE
2. UNREMARKABLE

Limitations: Vegetation
Driveway: Asphalt



3. UNREMARKABLE
4. UNREMARKABLE
5. UNREMARKABLE

Walks: Brick
Wall movement: No racking observed
Downspout Extensions: Below grade



Exterior (Continued)

6. Maintenance

Steps: Brick - Step heights are not uniform; greater than 3/8-inch difference in height. Though this condition may have been acceptable at the time of construction and upgrading may not be required, for safety reasons, we advise confirming compliance or upgrading to meet current regulatory requirements - WI DSPS 321.04 (2) (e) 1



7. UNREMARKABLE

Stoops: Pavers

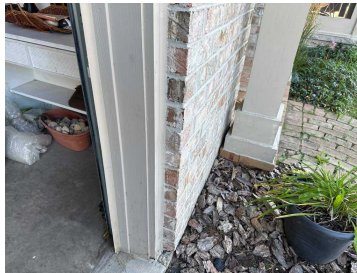


8. UNREMARKABLE

Flashing: None observed. Often typical for construction built in this era/ style

9. UNREMARKABLE

Trim: Wood



10. Maintenance

Vegetation: ! Vegetation is too close to structure/ siding. Trim back and maintain a minimum of 2' away from the structure to minimize the risk of premature wear and allow monitoring of the slope of the grade. Vegetation too close to the foundation can decay after droughts during extreme dry seasons and create paths for water entry subject to freeze/ thaw episodes resulting in extreme pressure against the foundation wall/s

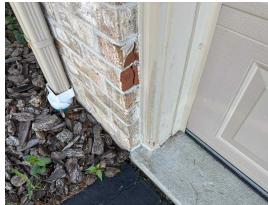
Exterior (Continued)

Vegetation: (continued)



11. Maintenance

Siding/ Cladding: Brick - **Spalling brick**



12. UNREMARKABLE

Eaves, Soffits, Fascia: Painted, Wood

13. UNREMARKABLE

Height of grade: Adequate. Currently the height of the grade around the perimeter of the structure is acceptable. 6" below the top of the foundation wall should be maintained to help prevent the negative consequences of wicking rain water or snow melt and subsequent damage

14. Maintenance

Drainage/ Grading: **! Adjust and maintain soils to slope away from the foundation at all sides of the home to provide a minimum drop of 1/2" - 1" for every foot away from the foundation to a point 10' away from the foundation or to the lot line, whichever is less (SPS 321.12) to help minimize the risk of seepage and other water related foundation problems. Adjust hard surfaces such as driveways, concrete walks, asphalt, etc. at all sides of the structure to provide a minimum drop of 1/4" - 1" for every foot away from the foundation. Swales will help direct water away from the foundation. Create swales within the first 5 feet of the foundation to help direct water away from softer loose backfill adjacent to the structure**

15. UNREMARKABLE

Basement windows: Clad

16. UNREMARKABLE

Hose Bibb/s: Gate valve/s - functional

17. UNREMARKABLE

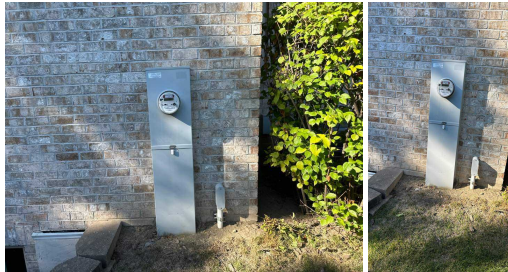
Electric: GFCI/s - remote reset



Exterior (Continued)

18. UNREMARKABLE

Electric service entrance: Underground Service Lateral. Though the grounding rods typically are not observed, this condition is unremarkable as the rods are normally buried below the surface of the soil



19. UNREMARKABLE

Electrical Grounding: Though the grounding rod/s were not observed. They are typically buried below the surface of the soil

20. UNREMARKABLE

PVC vents: Unremarkable

21. UNREMARKABLE

Gas Meter: Unremarkable

Garage

IMPORTANT SAFETY NOTIFICATION:

In 2020, per the WI Standards of Practice for Home Inspectors (SPS 131.32(5)(a)4, A home inspector shall observe and describe...whether any garage door operator automatically reverses or stops when meeting reasonable resistance during closing.

What is reasonable? Will a garage door operator function the same the very next time it is tested?

Garage doors operators, like any mechanical/ electrical system, pose a risk of failure; the older the system, the greater the risk. With consequences that can result in serious injury or worse, we advise procuring a copy of the garage door opener operating manual & following your manufacturer's advice on routine testing and maintenance. The following is a link to a 10 point checklist from DASMA, the Manufacturers Association: <https://www.dasma.com/PDF/Publications/TechDataSheets/CommercialResidential/TDS167.pdf>

Since technology is constantly changing, we advise monitoring safety guidelines for changes on a regular basis. Ultimately, you as a home owner, have the final responsibility for maintaining the systems in your home.

Side Garage

1. Type of Structure: Attached # of Vehicle Doors: 3

2. Inconclusive/ Limited Inspection

Unable to Inspect: ! Stored belongings and wall coverings limit visual assessment. Ratings of all Systems and Components are based on observable conditions



Garage (Continued)

3. Maintenance

Driveway/ Slab: Settling - Irregularities in walking surfaces pose trip/ fall hazards. Address as appropriate



4. UNREMARKABLE

Garage Walls: Conventional framing

5. UNREMARKABLE

Garage Doors: Overhead sectional

6. UNREMARKABLE

Door Operation: Electric opener/s

7. Defect Health/ Safety Issue

Automatic Reverse: Safety beam sensors were functional at the time of the inspection. Test frequently per manufacturer's specifications - DASMA 10 - Reasonable resistance did not cause garage door operator to reverse or stop. Excessive force was not used due to the risk of damaging the door, linkage, motor, etc.

8. UNREMARKABLE

Trim: Wood

9. UNREMARKABLE

Steps: Concrete

10. UNREMARKABLE

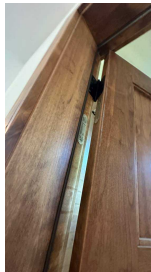
Windows: Casement

11. UNREMARKABLE

Ceiling: Wallboard

12. UNREMARKABLE

Fire Rating: Rated door/s and jamb/s to habitable area/s



13. UNREMARKABLE

Floor/Foundation: Slab on grade - concrete

14. UNREMARKABLE

Signs of Leaks: No signs of water penetration or abnormal/ harmful condensation were observed

15. UNREMARKABLE

Hose Bibs: Gate valve/s - functional

16. UNREMARKABLE

Electrical: GFCI/s OK - outlet/s tested and functioning properly at the time of the inspection

Air Conditioning

Design life of 15 - 20 years can be expected for Air Conditioning units in this climate. Failures have been documented from 10 to 40 years. If your A/C unit is near 15 years old, expect to replace it at any time. To minimize your risk of problems associated with a system past its typical life expectancy, or beyond the scope of this inspection, we advise a service and safety check prior to the end of your inspection contingency. Installation of a disconnecting device within sight of the compressor is required for safety.

Side AC System

1. UNREMARKABLE
2. UNREMARKABLE

System Type: Central A/C

Compressor Shell: Pad/ grade placement



3. UNREMARKABLE
4. Defect Needs Attention/ Further Evaluation

A/C System Operation: Functional, Functional

Temp. Differential: ! The temperature differential was not within acceptable standards between 14 and 22 degrees. Contact a qualified specialist for further evaluation prior to the end of your inspection contingency

Energy Source: Electric, Electric

Refrigerant Lines: Worn/ serviceable

Electrical Disconnect: Removable, Removable

5. UNREMARKABLE
6. UNREMARKABLE
7. UNREMARKABLE

8. Manufacturer: Carrier, Carrier

9. Approx. Size: 4 ton, 2 tons Approximate Age: 19 years old, 4 years old

10. Defect Needs Attention/ Further Evaluation

Special Attention A/C: ! 1 of 2 units is Pre 2010. On January 1, 2010, there was a ban on the production and import of R-22. As a result, manufacturers of air conditioning equipment redesigned their systems to accommodate R-410A, a chlorine-free refrigerant compared to R-22. I.e., CONFIRM THAT THE SYSTEM CAN STILL BE SERVICED



Foundation

IMPORTANT: Because some structural movement is tolerated in Southeast Wisconsin, evaluation of foundation performance is to a great extent, subjective. Our evaluation of this foundation is a visual review and represents the opinion of the inspector based on his personal experience with similar homes. The evaluation of the foundation is not technically exhaustive and the inspection does not predict or guarantee future performance. A licensed professional engineer should be consulted if measurements of wall movement is desired. All basements and foundations in Wisconsin are subject to seepage, soil and water pressures, soil movement, uneven or poorly sloped soil adjacent to the foundation, frost, and adverse weather conditions. Basements may be perfectly dry during a long dry spell and damp during wet weather. Foundation wall movement and/ or crack dimensions may change seasonally depending on factors such as the moisture content and composition of the surrounding soils. Future basement conditions, after inspection, cannot be predicted or guaranteed. The single most important factor to prevent basement problems is to keep surface run-off water away from foundation walls. We advise that any modular concrete block foundation walls displaced or tipped more than 1/2" out of plumb be further evaluated by a qualified specialist to determine the need for repair. If foundation walls are parged, covered or if visual assessment is blocked by stored personal belongings, we make no representation as to their condition.

Whether or not it is raining at the time of inspection, if there are signs of moisture, including efflorescence or staining on foundation walls or floor, water seepage may occur in your basement or crawl space when it rains. The following maintenance recommendations should be taken seriously: 1) Keep rain gutter system clean and unblocked. If downspouts discharge to grade, keep them properly extended away from the foundation walls at least 5 - 10 feet. 2) Adjust and maintain proper grading (slope of the soils, asphalt, and concrete) adjacent to the foundation at a minimum of 1/2" per foot to a distance of 10' away from the foundation wall or to the lot line. 3) If applicable, maintain your palmer valve or sump pump in proper working condition. Expect some seepage including a wet basement or crawl space until these maintenance concerns have been performed. There is still a risk of water infiltration after proper maintenance has been done if drain tiles are blocked, damaged or nonexistent. If water infiltration and wall movement are important to you and there are signs of moisture at the base of the foundation walls, whether or not documented elsewhere in this report, we advise drain tile testing prior to the end of your inspection contingency. We advise Drain Tile testing for all houses in Southeastern Wisconsin that are over 50 years old. **NOTE:** There is no way to adequately predict the risk of developing seepage without testing.

If wall measurements are included in this report, they have been taken from the approximate middle of the walls unless blocked by stored belongings or wall covering.

If you have a sump pump, test upon occupancy and twice per year to minimize your risk of overflow and water damage.

ALL RATINGS ARE BASED ON OBSERVABLE CONDITIONS

1. UNREMARKABLE

Foundation Style: Basement

The Basement

2. Inconclusive/ Limited Inspection

Unable to Inspect: ! Wall covering/s and/ or stored personal belongings limit visual assessment. Ratings are based on conditions observed at the time of the inspection

3. UNREMARKABLE

Description: Poured concrete

4. Maintenance

Moisture/ Seepage: ! Dampness,

Moisture at base of wall/s,

Microbial like characteristics. Have affected areas evaluated by a qualified specialist such as a microbiologist for confirmation and a remedial cost estimate if warranted; especially if there are family members or pets with compromised immune system or sensitivities to mold



Foundation (Continued)

Moisture/ Seepage: (continued)



5. UNREMARKABLE

Wall Cracks/ Displacement: No noteworthy cracks or displacement observed at the time of the inspection

6. UNREMARKABLE

Box Sill Insulation: Fiberglass batting

7. UNREMARKABLE

Beams & Columns: Steel/ Steel

8. UNREMARKABLE

First Floor Design: TJI - Truss Joist

9. UNREMARKABLE

Steps & Railings Wood steps and wood railings

10. UNREMARKABLE

Ceiling: Exposed framing

11. UNREMARKABLE

Foundation Floor: Concrete

12. UNREMARKABLE

Floor Drain: Water observed in floor drain indicates a proper seal from sewer gases



13. UNREMARKABLE

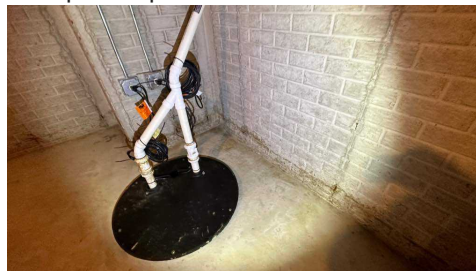
Electrical: Grounded outlet/s

14. UNREMARKABLE

HVAC Source: Register/s

15. UNREMARKABLE

Sump Pump/ Crock: Tested - Functional



Foundation (Continued)

Plumbing

Any plumbing leak recommendations should be considered high priority items since all plumbing leak issues are health or durability concerns. Confirmation of compliance with the plumbing code is not within the scope of this inspection. If there are questionable conditions noted on the report, there is a possibility that work was done without the benefit of a regulatory permit by someone unqualified and/ or there may be a risk to the health of the occupants. If questionable workmanship has been noted on the report, we advise further review and corrective action by a licensed plumber. We do not wish to represent ourselves as more knowledgeable than a licensed plumber who may find other concerns not observed or not within the scope of this inspection.

The plumbing system is checked visually. Leaks that are located inside of walls may not be evident at the time of inspection.

The drainage system is only checked to the extent of observing the visible piping and the drain rate. If the drain rate is slow, there is typically a blockage in the system. Determining the extent or cost of repair is beyond the scope of this inspection. If the drain rate is slow, contact a licensed plumber prior to the end of your inspection contingency.

Inspecting sewer lines is beyond the scope of a home inspection. Since the cost to repair or replace these lines are typically significant, we advise our clients to have the sewer line/s scoped in order to minimize the risk of expensive remedial costs that may be discovered after occupancy

Important: When a house has been vacant for several months, there is a risk that plumbing seals, gaskets, washers, etc. may have dried out and possibly start leaking after occupancy. Though a small leak or drip may not be considered a defect, they can elevate from a nuisance to a rot/ mod issue if not properly addressed. Bathtubs and showers may also begin to leak after occupancy when the weight of a person and water put pressure on the drain gaskets

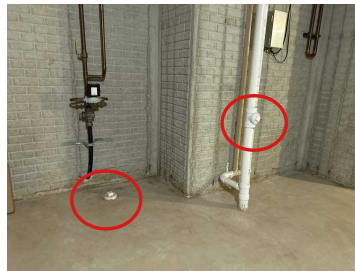
1. UNREMARKABLE

Service Line: Polymer



- 2. UNREMARKABLE
- 3. UNREMARKABLE
- 4. UNREMARKABLE
- 5. UNREMARKABLE

Main Water Shutoff: Ball valve/s
Water Supply Lines: Copper, PEX
Drain Waste Vent Pipes: PVC
Clean out/s: In floor and stack



- 6. UNREMARKABLE
- 7. UNREMARKABLE

Leaks/ Holes/ Cracks: No active leaks were observed at the time of the inspection
Support: Unremarkable

Plumbing (Continued)

Basement Water Heater

8. UNREMARKABLE

Water Heater Operation: Hot water in piping at the time of inspection

9. Manufacturer: A.O. Smith



10. Fuel/ Type: Gas Capacity: 75 Gal.

11. UNREMARKABLE

Approximate age: 1 year old

12. UNREMARKABLE

Leaks/ Corrosion No signs of leaking or corrosion observed

13. UNREMARKABLE

Gas leaks: No smell of gas at the time of the inspection. Checking for Carbon Monoxide or fuel gas leaks is beyond the scope of a home inspection. If these issues are important to you, contact a qualified specialist for further evaluation

14. UNREMARKABLE

Gas Valve: Functional

15. UNREMARKABLE

Fuel/ Piping: Iron

16. UNREMARKABLE

Venting: Power vented PVC

17. UNREMARKABLE

TPRV and Drain Tube: Polymer

Bathroom

Gaskets in shower stalls and tubs will eventually dry out. The full weight of a person including water is not applied to tubs and showers during a home inspection. It is important to note that there is a risk of leaks after occupancy that were not observable at the time of the home inspection.

1st floor Bathroom

1. Type Jack & Jill Bathroom

2. UNREMARKABLE

Ceiling Stains: No stains or patching observed at the time of the inspection

3. UNREMARKABLE

Flow/ Drain rates: Unremarkable

4. UNREMARKABLE

Signs of Leaking: No active leaking observed. Water is run in all fixtures to observe functional flow, drainage and leaks. Occasionally leaks do not appear unless water is run for an extended duration or under certain circumstances such as the weight of water in a sink or tub. Determining leaks under these conditions is beyond the scope of this inspection

Bathroom (Continued)

5. UNREMARKABLE

Tub/Surround: One piece fiberglass shower over tub



6. UNREMARKABLE

Diverter/s Functional

7. UNREMARKABLE

Sink/ Basin: Pedestal, Undermount Resin



8. UNREMARKABLE

Counter Tops: Resin

9. UNREMARKABLE

Counter/Cabinet: Frameless cabinets

10. UNREMARKABLE

Toilets: Two piece - secure/ immobile

11. UNREMARKABLE

Ventilation: Exhaust fan/s, window/s

12. UNREMARKABLE

Electrical: GFCI/s OK - outlet/s tested and functioning properly at the time of the inspection

13. UNREMARKABLE

HVAC Source: Register/s

1st floor Half Bathroom

14. UNREMARKABLE

Ceiling Stains: No stains or patching observed at the time of the inspection

15. UNREMARKABLE

Flow/ Drain rates: Unremarkable

16. UNREMARKABLE

Signs of Leaking: Personal belongings/ stored items below sink limit visual assessment. No signs of leaking were observed at the time of the inspection

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12345 Sample Trail

Bathroom (Continued)

17. UNREMARKABLE

Sink/Basin: Undermount



18. UNREMARKABLE

Counter Tops: Solid surface

19. UNREMARKABLE

Counter/Cabinet: Frameless cabinets

20. Maintenance

Toilets: Two piece - > Loose toilet. If toilet has been leaking, there may be concealed damage or microbial growth below the finished floor. Removing the toilet to determine sub-floor conditions is beyond the scope of this inspection. If the potential negative consequences of concealed conditions are important to you, contact a qualified specialist for further evaluation

21. UNREMARKABLE

Ventilation: Exhaust fan/s, window/s

22. UNREMARKABLE

Electrical: GFCI/s OK - outlet/s tested and functioning properly at the time of the inspection

23. UNREMARKABLE

HVAC Source: Register/s

1st floor Bathroom

24. Type 3/4 Bath

25. UNREMARKABLE

Ceiling Stains: No stains or patching observed at the time of the inspection

26. UNREMARKABLE

Flow/ Drain rates: Unremarkable

27. UNREMARKABLE

Signs of Leaking: No signs of leaking observed. Water is run in all fixtures to observe functional flow, drainage and leaks. Occasionally leaks do not appear unless water is run for an extended duration or under certain circumstances such as the weight of a person in a shower or tub or a basin filled with water. Determining leaks under these conditions is beyond the scope of this inspection

28. UNREMARKABLE

Shower/Surround: One piece fiberglass



29. UNREMARKABLE

Sink/ Basin: Undermount Resin

30. UNREMARKABLE

Counter Tops: Solid surface

31. UNREMARKABLE

Counter/Cabinet: Frameless cabinets

32. UNREMARKABLE

Toilets: Two piece - secure/ immobile

Bathroom (Continued)

33. UNREMARKABLE

Ventilation: Exhaust fan/s

34. UNREMARKABLE

Electrical: GFCI/s OK - outlet/s tested and functioning properly at the time of the inspection

35. UNREMARKABLE

HVAC Source: Register/s

1st floor Bathroom

36. Type en suite

37. UNREMARKABLE

Ceiling Stains: No stains or patching observed at the time of the inspection

38. UNREMARKABLE

Flow/ Drain rates: Unremarkable

39. UNREMARKABLE

Signs of Leaking: No signs of leaking observed. Water is run in all fixtures to observe functional flow, drainage and leaks. Occasionally leaks do not appear unless water is run for an extended duration or under certain circumstances such as the weight of a person in a shower or tub or a basin filled with water. Determining leaks under these conditions is beyond the scope of this inspection

40. UNREMARKABLE

Shower/Surround: Tiled floor and surround



41. UNREMARKABLE

Tub/Surround: Fiberglass tub with tile surround



42. UNREMARKABLE

Diverter/s Functional

43. UNREMARKABLE

Sink/ Basin: Undermount Resin, Twin sinks



44. UNREMARKABLE

Counter Tops: Solid surface

45. UNREMARKABLE

Counter/Cabinet: Frameless cabinets

46. UNREMARKABLE

Toilets: Two piece - secure/ immobile

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12345 Sample Trail

Bathroom (Continued)

47. UNREMARKABLE

Ventilation: Exhaust fan/s, window/s

48. UNREMARKABLE

Electrical: GFCI/s OK - outlet/s tested and functioning properly at the time of the inspection

49. UNREMARKABLE

HVAC Source: Register/s

Interior

After 2/1/2011, one and two family dwellings in Wisconsin require smoke alarms and carbon monoxide alarms in the basement and on each floor. For proper placement of alarms, more information about the current requirements and for regulations that affect three or more family dwellings, see <http://legis.wisconsin.gov/rsb/code/commm/commm021.pdf> and <http://legis.wisconsin.gov/rsb/code/comm/comm028.pdf>

For safety reasons, we strongly advise installing new combination ionization/ photoelectric smoke detectors upon occupancy, changing the batteries twice each year and replacing the detector every 5 years.

Inspecting wall and floor covering such as carpeting, tile, wood flooring, and other cosmetic finish treatments is beyond the scope of a home inspection. The state standard of practice requires an inspection of a random sampling of doors and windows and the operation of a representative number of installed lighting fixtures, switches and receptacles. After occupancy, there is a possibility that you may discover that not all of the outlets or windows meet your expectations. If this possibility concerns you, we advise a walk through prior to the end of your inspection contingency to confirm the condition of all doors, windows, outlets, etc. Since checking ALL receptacles is beyond the scope of this inspection, if there are any references to sub-standard electrical conditions, we strongly advise you to consider having an inspection of the electrical system by a licensed electrical contractor prior to the end of your inspection contingency.

Though the inspection of paint on walls, ceilings, trim, etc, is not within the scope of this inspection, peeling or flaking of lead base paint in homes built prior to 1978 may be a health concern. We advise using lead certified painting contractors for any painting needed on homes built prior to 1978. <http://www.epa.gov/lead/pubs/renovation.htm>

Due to the risk of damaging personal property, moving personal items, furnishings or furniture is beyond the scope of a home inspection. We request accessibility to the attic, foundation walls and mechanical equipment when the appointment is originally scheduled. If areas have not been made accessible, we advise you to consider the risk of financial consequences.

Windows can last for decades if properly maintained. WE ADVISE CHECKING WINDOWS ANNUALLY FOR FUNCTION AND SAFETY. Sash springs and cords will become weak with age and window sashes can fall unexpectedly resulting in broken glass and or personal injury.

Window glass was evaluated on a best efforts basis to determine thermal seal failure. Often, a failed seal cannot be determined during the assessment due to cleanliness of the glass, varying weather conditions or humidity. Therefore, no representations are made as to the condition of every window.

IMPORTANT: Though inspecting for mold is beyond the scope of this inspection, if there are signs of moisture or if leaks have occurred, there is a potential for microbial growth behind walls & ceilings. If there are any indications that leaks have occurred and this issue is important to you, contact a qualified specialist such as a microbiologist for further evaluation prior to the end of your inspection contingency

The Living Space

1. UNREMARKABLE

Moisture Signs: No moisture stains observed at time of inspection

2. UNREMARKABLE

Thermostat/s: Programmable

3. Inconclusive/ Limited Inspection

Limitations LVA> - Limited Visual Assessment - Furnishings, personal belongings and/or stored items limited visual access to electrical outlets, heat sources, registers, windows, walls, interiors of closets, interiors of laundry room, kitchen and bathroom cabinets, etc. Moving personal belongings is beyond the scope of this inspection. Determining the function of all electrical outlets is

Interior (Continued)

Limitations (continued)

beyond the scope of this inspection. Determining the adequacy or balance of heat supply registers & returns, etc. is beyond the scope of this inspection. All Ratings in this report are based solely on observable conditions. Consider a personal walk-through after belongings have been removed, prior to the end of your inspection contingency to confirm conditions not observed at the time of the inspection

Closets: Typical

Floor/s: Level. The amount of sag, slope or deflection is not unusual for the age of the property. If the current slope or deflection of the floor is a concern to you, contact a qualified specialist to discuss remedial options

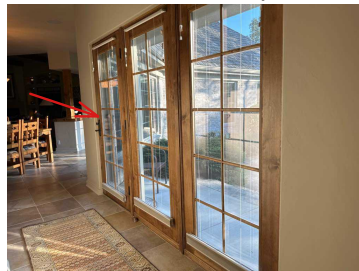
Ceilings & Walls: Gypsum

Entry Door/s: Wood with glass panel/s - Weather stripping is damaged



Interior Doors: Paneled

Patio Door/s: Glass panel - Hardware glitch. Not latching easily



Skylight/s: Solar tube/s

Window/s: Casement - Some worn paint, some decayed wood. Repair/ address all windows in need as appropriate.



4. UNREMARKABLE

5. UNREMARKABLE

6. UNREMARKABLE

7. Maintenance

8. UNREMARKABLE

9. Maintenance

10. UNREMARKABLE

11. Maintenance

Interior (Continued)

Window/s: (continued)



- 12. UNREMARKABLE
- 13. UNREMARKABLE
- 14. UNREMARKABLE
- 15. Maintenance

Glazing: Insulated glass

Electrical: Grounded outlet/s

HVAC Supplies/ Returns: Register/s and Grill/s

Smoke/ CO Detectors: Smoke Detector/s observed. For safety, adherence with current NFPA requirements is advised. I.e. one on each floor - Not all required Carbon Monoxide detectors or Smoke alarms were observed or properly installed. Smoke and Carbon Monoxide (CO) detectors shall be installed at every floor level of every home, including basements and crawl spaces. Even if they are present during the inspection, we recommend installing new detectors at time of occupancy if you are unsure of their age. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should also be in any room with a wood-burning stove or fireplace. Once you take possession of the home, detectors should be tested regularly, and replaced per manufacturer's recommendation or at least every 5 years. Smoke detector batteries should be replaced annually. We strongly advise the use of photoelectric smoke detectors in conjunction with ionization smoke detectors



- 16. UNREMARKABLE
- 17. UNREMARKABLE

Ceiling Fan/s: Tested fans were operational at the time of the inspection

Trim: Wallboard returns

Kitchen

Kitchen inspections are limited to the readily accessible systems and components. Homes occupied at the time of inspection often have personal items under the sink that may block visual assessment of supply and drain lines. Signs of leaking may not be readily noticeable during the inspection but may be obvious on move in day after all personal belongings have been removed. Confirm proper connections for gas or electric depending on your stove requirements. The functional flow and drainage of the fixtures are observed and unremarkable unless otherwise noted. Worn electrical outlets and switches pose fire hazards and should be promptly replaced when discovered. Appliance evaluation is beyond the scope of a home inspection. SPS 131.31 (8)(b)4 If the appliances were checked, it was done only as a courtesy and only to check function. It was not done to determine adequacy or future life expectancy. If you are interested in a thorough evaluation of the kitchen appliances, contact a company that specializes in appliance evaluation

1st Floor Kitchen

1. Maintenance

Ceiling Stains: ! Intentional irregularities in finish coat often resemble patching. Confirm history with seller



2. UNREMARKABLE

Sink: Undermount



3. UNREMARKABLE

Signs of Leaking: No signs of leaking observed. Water is run in all fixtures to observe functional flow, drainage and leaks. Occasionally leaks do not appear unless water is run for an extended duration or under certain circumstances such as the weight of a person in a shower or tub or a basin filled with water. Determining leaks under these conditions is beyond the scope of this inspection

4. UNREMARKABLE

Flow/ Drain rates: Unremarkable

5. UNREMARKABLE

Air Gap: Present

6. UNREMARKABLE

Electrical: GFCI/s OK - outlet/s tested and functioning properly at the time of the inspection

7. UNREMARKABLE

Exhaust: Range hood

8. UNREMARKABLE

Cabinets: Frameless cabinet/s

9. UNREMARKABLE

Counter Tops: Solid surface

10. UNREMARKABLE

HVAC Source: Open Kitchen/ Eating area. Heat source located in adjacent room

11. UNREMARKABLE

Water temperature: Hot and cold

Laundry Room/Area

Though a home inspection in Wisconsin does not include the inspection of household appliances such as washers and dryers (SPS 131.32(8)(b)4), their venting or compliance with code, due to the risk of fire with clothes dryers vents that have not been cleaned or maintained, for safety reasons we strongly advise all of our clients to check the dryer vent for compliance with current regulatory requirements and clean it or have it cleaned prior to using it the first time and on a regular basis. Rigid smooth-walled metal venting is required to help minimize the risk of fires. SPS 323.14(2)(a)1.&2.

When a laundry room is located in a finished basement or on an upper level of a home, we recommend the installation of an over flow pan under washing machines that are located on habitable levels with flooring or furniture that may be exposed to water damage if the washing machine leaks (see www.floodmaster.com for examples)

1st Floor Laundry Room/Area

1. UNREMARKABLE

Ceiling Stains: No moisture stains observed at the time of the inspection

2. UNREMARKABLE

Laundry Tub: Self Rimming



3. UNREMARKABLE

Flow/ Drain rates: Unremarkable

4. UNREMARKABLE

Signs of Leaking: No signs of leaking observed. Water is run in all fixtures to observe functional flow, drainage and leaks. Occasionally leaks do not appear unless water is run for an extended duration or under certain circumstances such as the weight of a person in a shower or tub or a basin filled with water. Determining leaks under these conditions is beyond the scope of this inspection

5. UNREMARKABLE

Electrical: Grounded outlet/s

6. UNREMARKABLE

HVAC Source: Register/s

7. UNREMARKABLE

Ventilation: Window/s

8. UNREMARKABLE

Dryer Vent Rigid smooth wall

Electrical

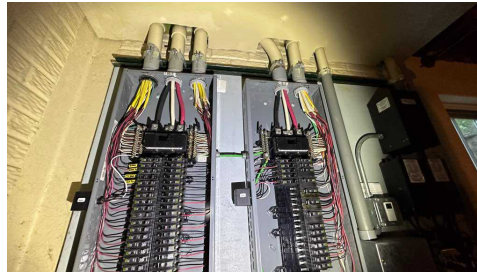
Any Electrical concerns should be considered high priority items since all electrical issues are safety hazards. Confirmation of compliance with the electric code is not within the scope of this inspection. Typical design life of breakers is 20 - 25 years. Older breakers were lubricated; as the lubrication dries out over time, it makes it more difficult for the breakers to trip when needed. If your electrical system is 20 - 25 year or older then consider contacting a licensed electrical contractor for further evaluation to determine the need for a system upgrade. If there are questionable conditions noted on the report, there is a possibility that work was done without the benefit of a regulatory permit by someone unqualified and there may be a risk to the safety of the occupants. If questionable workmanship has been noted on the report, contact a licensed electrical contractor for further evaluation and appropriate corrective action. We do not wish to represent ourselves as more knowledgeable than a licensed electrical contractor. A licensed electrical contractor may find other safety concerns not observed or not within the scope of this inspection.

Electrical (Continued)

Basement Electric Panel

1. UNREMARKABLE

Manufacturer: Square D, (both)



2. UNREMARKABLE

3. UNREMARKABLE

4. UNREMARKABLE

5. UNREMARKABLE

6. UNREMARKABLE

7. UNREMARKABLE

8. UNREMARKABLE

9. UNREMARKABLE

System Rating: 200 amps, 200 amps

Panel Capacity: 200 amps, 200 amps

Cable, Conduit, Tubing: Romex (Non-metallic sheathed cable)

Main Type/ Size: Breaker/s - 200 Amps, Breaker/s - 200 Amps

Main Conductors: Copper

Branch Disconnects: Breakers

Branch Conductors: Copper

Labeling: Labeled. The panel is labeled. Confirm accuracy of labeling for safety reasons

Raceway/ Supports: Unremarkable at the time of the inspection

10. UNREMARKABLE

11. Is the panel bonded? Yes Both/ All main panels are bonded

Heating System

Testing for gas leaks is beyond the scope of a home inspection. LEAKAGE ALLOWANCES: The AGA and ANSI STANDARDS allow for 200 cubic centimeter per hour of external gas leakage when pressure of 3/4 PSI is supplied to the gas control valve. These standards also allow 234 cubic centimeters per hour of leakage at 1/4 PSI, through the gas control valve to the main or pilot burners with the gas control valve turned off. (See AGA STANDARD Z21.21)

Per the Consumer Product Safety Commission: IF YOU SMELL GAS OR SUSPECT A GAS LEAK: Leave the house immediately. Don't use your phone or cell phone; call the local utility from outside the dwelling or ask a neighbor to notify the utility call center operator for assistance from the adjacent home. Don't light a match. Don't turn on or off a light. Don't switch on or off anything electrical. Don't send a text.

https://www.aga.org/sites/default/files/safety_pamphlet_-_updated_december_2012_-_folded_version_2.pdf

Typical life expectancy of a heating system in this climate is about 15 - 20 years. Boilers often last about 25 - 30 years. Anticipate replacement when systems are within a few years of this age. Inspection of a heating system is limited due to lack of visual accessibility to the heat exchanger. If the system has not been serviced within the past 12 months (confirm last service date with the seller) or if there are substandard or questionable conditions of the heating system noted on the report, we advise a service and safety check of the system prior to the end of your inspection contingency by a qualified specialist who may find other concerns beyond the scope of this inspection. We advise that all corrective action be done by a qualified specialist of YOUR choice for safety and accountability. Confirmation of compliance with regulatory requirements or code is not within the scope of this inspection. Determining sizing compatibility is beyond the scope of this inspection.

Heating System (Continued)

Change your furnace filter upon occupancy and on a regular basis per manufacturer's guidelines

Basement Heating System

1. Manufacturer: Carrier, Carrier



2. Fuel Type: Gas, Gas

3. Unable to Inspect: >90% - sealed combustion

4. UNREMARKABLE

Venting: PVC 2 pipe condensing - This type of venting indicates that the unit is high efficiency

Heating Type: Forced warm air, Forced warm air

Capacity: 80,000 BTU, 80,000 BTU

Approximate age: 1 year old, 19 years old

Heating System Operation: Heating systems responded to thermostat

Burners/ Elements: Electronic igniter with inshot burners

Heat Exchanger: High Efficiency. Limited or no visual accessibility

Blower Fan: Direct drive, Direct drive

Filter: Disposable filter, Disposable filter

Heat Distribution: Ducts, Registers & Grills

Fuel Piping: Iron, Iron, CSST - Corrugated Stainless Steel Tubing - proper bonding should be confirmed by a licensed electrician - <https://www.youtube.com/watch?v=7QinMnDdXQ8>

Fuel Valve: Functional, Functional

Gas Leak/s: There was no noticeable gas odor at the time of inspection

Ignition: Burner/s responded to thermostat

Blower Door Interlock: Circuit closed when the blower door/ cover was replaced

TPRV and Drain Tube: Polymer

5. UNREMARKABLE

6. UNREMARKABLE

7. UNREMARKABLE

8. UNREMARKABLE

9. UNREMARKABLE

10. UNREMARKABLE

11. UNREMARKABLE

12. UNREMARKABLE

13. UNREMARKABLE

14. UNREMARKABLE

15. UNREMARKABLE

16. UNREMARKABLE

17. UNREMARKABLE

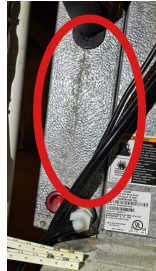
18. UNREMARKABLE

19. UNREMARKABLE

Heating System (Continued)

20. Defect Needs Attention/ Further Evaluation

Special Attention HVAC: ! Leaking at plenum poses an above average safety risk of damage to the furnace. Contact a licensed heating contractor for a service and safety check to include combustion safety testing and evaluation of the heat exchanger for damage prior to the end of your inspection contingency. A heating contractor may find other conditions beyond the scope of this inspection that may be significant



Fireplace/Wood Stove

Fireplace, wood or gas burning stove inspections are limited to the visible components only. This is not an inspection for code compliance. Examination of concealed or inaccessible portions is beyond the scope of this inspection. This was a limited inspection. Igniting or extinguishing fuel fires or inspection of the interior of flues and fireplace insert flue connectors is not within the scope of a home inspection. (RL 134.03 (9) c) & d). For safety reasons and due to the limited scope of this inspection, we advise a level 2 inspection (required by the Chimney Safety Institute of America - http://www.csia.org/sweeping_flash.html) prior to the end of your inspection contingency. We are unaware of how well the fireplace drafts.

1st Floor Fireplace

1. Type: Gas burner



2. UNREMARKABLE

3. Defect Health/ Safety Issue

Firebox: Masonry panels over metal

Damper: Metal - No damper clamp. For safety, damper clamp installation is required on gas burning fireplaces to prevent the damper from closing completely and creating a path for dangerous gases such as carbon monoxide to enter the living area

Fireplace/Wood Stove (Continued)

Damper: (continued)



4. UNREMARKABLE

5. UNREMARKABLE

6. UNREMARKABLE

7. Maintenance

Hearth: Raised

Stains on ceiling: None observed

Distance to combustibles: No combustible material is closer than 6 to the firebox

Special Attention Fireplace: ! Service/ cleaning advised prior to the end of your inspection contingency to confirm operation and to assure no flue blockage from leaves, nests, etc

Attic

The inspection of the attic includes visual assessment for structural integrity, water infiltration, insulation and ventilation concerns, signs of high humidity and consequences such as rotted framing members. Unless there is significant rain at the time of the inspection, detecting ongoing leaks in the attic or the interior of the home can be difficult if not impossible to predict. Verbiage in this report indicating ... signs of past or ongoing leaks, is not definitive. Stained building components are typically a sign of past leaking but not a definitive sign of ongoing leaks. IMPORTANT: If past or ongoing leaks are not properly addressed in a timely manner, they can be contributory to microbial growth.

Attics and all related components are inspected visually from an area that does not put either the inspector or the home at risk. The method of inspection is at the sole discretion of the inspector and depends on accessibility, clearances, insulation levels, stored items, temperature, vermin droppings, mold like substances, etc. Inspectors will access the attic, if possible. Many attics are too dangerous to fully enter or are not accessible due to design. Inspecting for hidden attic damage is beyond the scope of a home inspection, yet hidden damage is always a possibility.

Overhead Attic

1. Method of Inspection Access panel/s. Due to the risk of damage to electrical components buried below the insulation, the attic was inspected from the access panel/s for safety reasons. Ratings are based on observed conditions at the time of the inspection

2. Inconclusive/ Limited Inspection

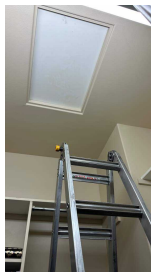
Unable to Inspect: ! Insulation limited visual assessment. Ratings are based on observable conditions

3. UNREMARKABLE

Signs of Leaks/ Moisture: No signs of water penetration or abnormal/ harmful condensation were observed

4. UNREMARKABLE

Attic Access Insulated ceiling panel/s



Anderson Home Inspection, LLC

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09/19/2023 05:14 PM

Prepared for: Homer Buyer

12345 Sample Trail

Attic (Continued)

5. UNREMARKABLE

6. UNREMARKABLE

Attic type: Overhead crawl space

Attic floor: ! No attic flooring. The attic is not intended for storage or entry by untrained construction professionals due to safety risks. If Mechanical, Electrical or Plumbing components are located in the attic, we advise the installation of properly elevated passage way to allow servicing/ replacing equipment and components

7. UNREMARKABLE

Roof Framing: Wood trusses



8. UNREMARKABLE

9. UNREMARKABLE

10. UNREMARKABLE

Sheathing/ Decking: Oriented Strand Board

Roof Venting: Static vent/s, Baffles were present

Exhaust Fan Venting: None observed. Insulation limits visual assessment

11. Maintenance

Insulation: Fiberglass loose fill R 2.5/in - Low areas. Uneven/ inadequate insulation. This may result in condensation problems during winter months. Address as appropriate



12. UNREMARKABLE

13. Inconclusive/ Limited Inspection

Plumbing Soil Stack: PVC

Vapor Barrier: ! Insulation limits visual assessment. Existence/ condition undetermined

Radon Testing

1. UNREMARKABLE
2. UNREMARKABLE
3. UNREMARKABLE
4. UNREMARKABLE

Foundation style: Unfinished basement
Testing device: Corentium
Start date: September 14, 2023
Monitor location: Unfinished basement

Final Comments

IMPORTANT: READ THE FOLLOWING CAREFULLY: The inspection was performed by a home inspector, not an engineer, licensed plumber, electrician, roofer, HVAC contractor, biologist, mechanic, or foundation specialist. We do not guarantee the home against defects. If you want a guarantee or warranty, you should purchase one from a company who sells them. What we do is point out areas of concern and provide you with useful information about potential problems and home maintenance issues.

The Summaries provide a brief overview of the full report. They are not all encompassing and are not to be used in lieu of the full report. We do not wish to represent ourselves as more knowledgeable than "Qualified Specialists". Any rating or verbiage other than Unremarkable is a condition which is sub-standard, adverse, in need of attention, correction, improvement, maintenance, repair, replacement, remedial action, etc. and indicates our advice for Further Evaluation by a Qualified Professional of YOUR choice PRIOR to the end of your inspection contingency for approval or a repair cost estimate. For your best protection, confirm that all Repairs or Improvements by Qualified Specialists will be per Regulatory Requirements, Manufacturer's Specifications, Engineering Calculations or Industry Standards, whichever is the more stringent. If unsure, seek legal counsel.

Further evaluations by qualified specialists typically incur extra costs. The amount of money you spend on the specialist may save you thousands as they often find issues beyond the scope of a home inspection. Carefully read the ENTIRE report prior to waiving your inspection contingency. Some conditions that we think of as maintenance may be issues you consider significant even though they may not be recognized as a condition of your sales contract.

ONE OF THE MOST IMPORTANT THINGS TO REMEMBER ABOUT BEING A HOME OWNER IS THAT ALL HOMES REQUIRE ONGOING MAINTENANCE. AS TIME GOES ON, THE SYSTEMS AND COMPONENTS OF YOUR HOME WILL WEAR OUT, BREAK DOWN, DETERIORATE, LEAK OR SIMPLY STOP WORKING. If you do not inspect and maintain all roof flashings and maintain proper slope of the surfaces around the perimeter of the foundation walls, ANTICIPATE LEAKS!

On pages 84 and 85 of the Manual we provided you at the time of the inspection, is a Seasonal Maintenance Checklist. We strongly advise you to follow this guide and add to it as you learn more about your home over the years