



Anderson Home Inspection, LLC
5712 W Peninsula Rd
Waterford,, WI 53185

262.534.5075

Water Intrusion Report



123 Main St
Hometown, WI 53105

Defect Needs Attention/ Further Evaluation Summary

Defect means a condition of any component of an improvement that a home inspector determines, on the basis of the home inspector's judgment on the day of an inspection, would significantly impair the health or safety of occupants of a property or that, if not repaired, removed, or replaced, would significantly shorten or adversely affect the expected normal life of the component of the improvement.

Repair, replace, maintain or address as appropriate. If costs to properly address this/ these conditions is important to you, or if you are unsure of cost/s or negative consequences, contact a qualified specialist for further evaluation of this and all similar components/ conditions for remedial cost estimates prior to the end of your inspection contingency.

NOTE: This summary is provided for convenience and is not a substitute for reading the entire report and should not be relied upon as the complete list for the client's reference. For the purposes of the report, defect, as defined in section 440.97 (2m), Wis. Stats., means a condition of any component of an improvement that a home inspector determines, on the basis of the home inspector's judgment on the day of an inspection, would significantly impair the health or safety of occupants of a property or that, if not repaired, removed, or replaced, would significantly shorten or adversely affect the expected normal life of the component of the improvement. The contract of sale may define defect to also include a condition that would have a significant adverse effect on the value of the property, but such a condition may not be labeled a defect in the report unless it meets the definition in section 440.97 (2m), Wis. Stats. NOTE: A home inspector may not report on the market value or marketability of a property or whether a property should or should not be purchased.

Notice to all Buyers and Sellers regarding Defects

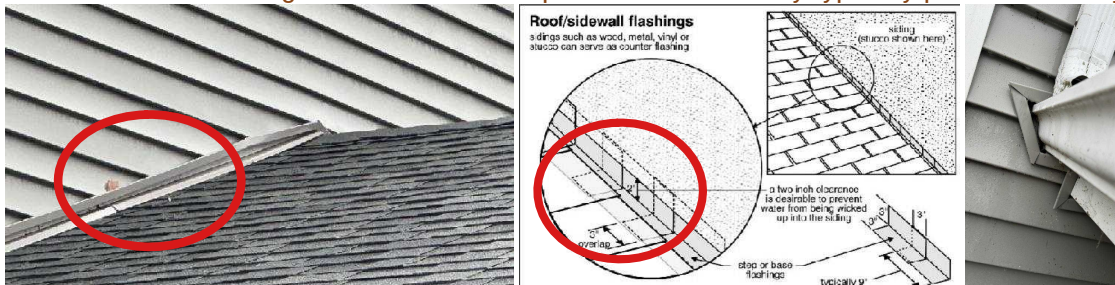
A Wisconsin statute requires that the inspector use the term defect in describing certain conditions. The statute includes a specific definition of the term defect. If this inspection relates to a Purchase Contract (accepted offer to purchase), it is likely that the Purchase Contract uses a definition of the term defect that is materially different from the definition in the inspection statute. The inspector expresses no opinion as to whether any condition referred to in the inspection report constitutes a defect as defined in any Purchase Contract.

If you have questions about these different definitions of defect or how any condition described in the inspection report affects the rights and obligations of buyers and sellers under your Purchase Contract, you should consult your realtor or your attorney.

Roof

1. The Roof Surface Flashing: Metal, Rubber - Existing sidewall flashing is in direct contact with the garage roof shingles. The diagram on the right shows the proper 2 inch gap between the shingles and the siding. This gap allows inspection of the step flashing for condition (rust, wear, etc.) and movement that compromises the effectiveness of shedding water.

The siding/ trim details where the gutter meets the house is non-professional and promotes water intrusion. We advise "proper" remedial action by a qualified specialist to help prevent water from entering between the siding and the wall sheathing and structural components. Water entry typically promotes decay and microbial growth.



Roof (Continued)

Flashing: (continued)



2. The Roof Surface Gutters & Downspouts: Metal - Standing water. Reinstall gutter/s with a proper slope to help prevent ice damming in winter which typically leads to water intrusion and damage/ decay and microbial growth to the interior of the home or attached garage. Appropriate remedial action advised



3. The Roof Surface Signs of Leaks: ! Poor trim details between the garage and home promote water intrusion and areas of high risk of water intrusion and subsequent consequences such as concealed decay and microbial growth.

Have exterior transitions and terminations evaluated by a "qualified" professional for a remedial cost estimate.

4. Side Chimney Flue/ Crown (cap): Metal flue/ metal cap - Corrosion around metal chimney cap. Appears to allow moisture intrusion into the flue enclosure. This can lead to decay and microbial growth if not properly addressed. We advise further evaluation by a qualified professional (architectural sheet metal worker) for a remedial cost estimate.

Typically the metal cap should have an angled hem at the bottom to direct water away from the flue enclosure and the interior dimensions of the cap should be larger than the exterior dimensions of the top of the flue enclosure.

Roof (Continued)

Flue/ Crown (cap): (continued)



Interior

5. The Living Space Special Attention Interior: ! Ongoing episodes of water entering roof at the soil stack and pouring from kitchen ceiling (see Ms. Homeowner's video) have "likely" created areas of concealed microbial growth on the back side of the wallboard in the kitchen, pantry and attic. Further evaluation and appropriate remedial action advised.
Due to negative health consequences, we advise mold sampling to confirm the existence of microbial growth.

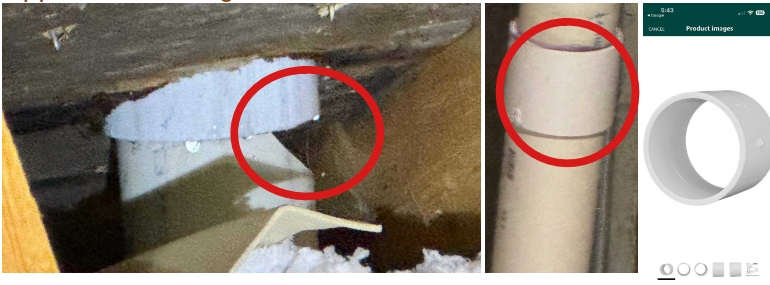
Attic

6. Overhead Attic Signs of Leaks/ Moisture: ! Moisture/ active leaking and decay noted. Contact a qualified specialist for further evaluation and a remedial cost estimate



7. Overhead Attic Plumbing Soil Stack: PVC - Damaged. Active leaking observed. (image on the left) Appropriate corrective action advised.

Typical repair would include cutting/ squaring up soil stack, properly installing the correct connector (example - image on the right) and another section of PVC to penetrate the roof to the proper height. The current boot flashing appears to be in good condition but confirm with the contractor who performs the remedial work



Inconclusive/ Limited Inspection Summary

The System or Component was not fully inspected due to lack of accessibility, risk of damage, lack of power, for health/ safety reasons, it was disconnected or not responding to normal operating controls at time of inspection. Unknown conditions exist. If the negative consequences are important to you, or if you are unsure of the negative consequences, contact a qualified specialist for further evaluation.

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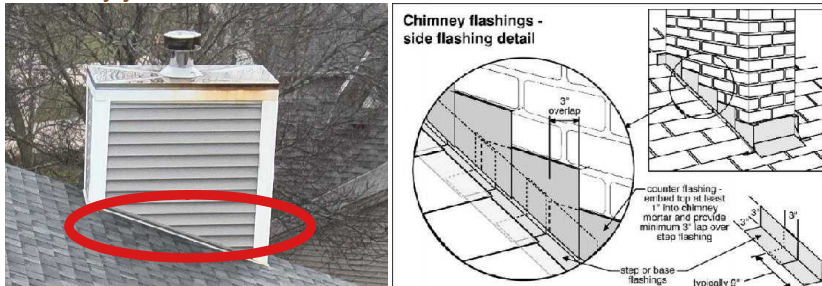
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Roof

1. Side Chimney Chimney: Metal pipe, Framed covering over the chimney flue limits the visual assessment
2. Side Chimney Chimney Flashing: Metal - **Siding proximity limits visual assessment of flashing condition at roof/ chimney junction**



Interior

3. The Living Space Moisture Signs: ! **Moisture staining noted on the kitchen ceiling adjacent to the pantry.**
Cold (dark blue) area in the corner of the pantry ceiling indicates a place susceptible to dew point condensation issues.
Moisture meter test indicates current wet condition. Note: It was raining intermittently at the time of the inspection. The high moisture levels may have been caused by the leak at the soil stack noted in the attic section of this report.

Further evaluation of garage roof/ house wall transition/s advised to determine if water intrusion is contributory to this condition. Water intrusion will lead to concealed microbial growth if not properly addressed in a timely manner

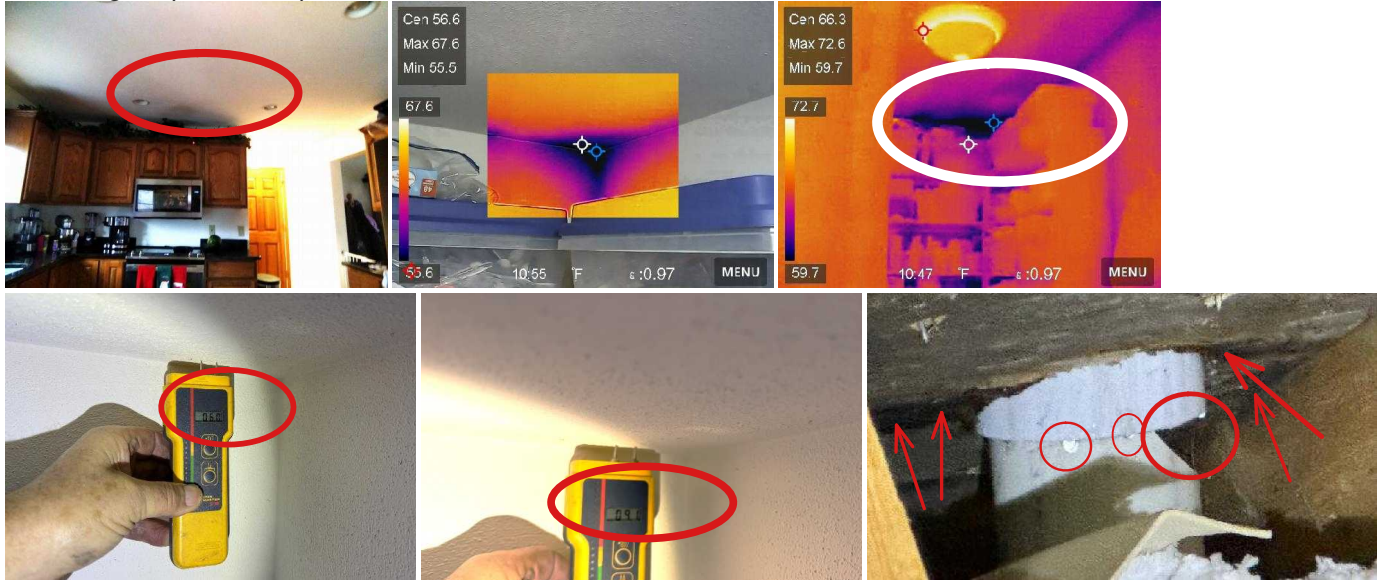
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Prepared for: Homer Buyer
123 Main St

Interior (Continued)

Moisture Signs: (continued)



Attic

4. Overhead Attic Unable to Inspect: ! Insulation limited visual assessment. Ratings are based on observable conditions.

NOTE blackened OSB roof decking around the soil stack penetration. Repair/ replace damaged section of plumbing soil stack and install a new boot flashing to help prevent ongoing water intrusion which has led to decay and deterioration and possible microbial growth. This area appears to be contributing to ongoing damage to kitchen and pantry ceilings



Maintenance Summary

Attention advised: Address, correct, improve, service, repair or replace.

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If you have questions about these different definitions of defect or how any condition described in the inspection report affects the rights and obligations of buyers and sellers under your Purchase Contract, you should consult your realtor or your attorney.

Roof

1. The Roof Surface Ridge Cap: ! Worn, torn. Repair/ replacement of affected sections advised.
Even a small tear can create a path for moisture intrusion to enter the building envelope.



Anderson Home Inspection, LLC

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Prepared for: Homer Buyer
123 Main St

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Prepared for: Homer Buyer
123 Main St

Definitions

NOTE: All definitions listed below refer to the opinion of the inspector as to the condition of the system or component of the property as observed at the time of inspection. IMPORTANT: Any rating or verbiage indicating that a condition is sub-standard, deficient, in need of attention, correction, improvement, maintenance, repair, replacement, remedial action, etc. indicates our advice to contract a qualified professional of YOUR CHOICE, PRIOR to the end of your inspection contingency for further evaluation, not just of that item, but of the entire SYSTEM for approval or a remedial cost estimate. Since a Home Inspection is not a technically exhaustive inspection by a specialist, but rather an inspection of readily accessible, observable systems and components by a trained professional, there may be evidence of sub-standard conditions or non-professional workmanship, the extent of which and the estimation of remedial cost/s would not be within the scope of this inspection.

UNREMARKABLE

The system or component appears to be performing its intended function as intended, appropriate for its age and use at the time of this Inspection.

Defect Health/ Safety Issue

An apparent Health or Safety Defect. We advise contacting a Qualified Specialist for further evaluation and approval or a remedial cost estimate prior to the end of your inspection contingency.

Defect Repair Quote Advised

Repair, replace or address as appropriate. Proper attention to this and all similar components/ conditions is advised. If costs to properly address this/ these conditions are important to you, or if you are unsure of cost/s or negative consequences, contact a qualified specialist to evaluate and approve or provide a remedial cost estimate prior to waiving the rights of your inspection contingency.

Defect Needs Attention/ Further Evaluation

"Apparent or Suspect Defect Condition. Restore to a good or sound condition by making good, strengthening, repair, etc. Have a Qualified Specialist evaluate and identify our concerns and any related concerns not visible to the inspector or beyond the scope of this inspection and specify any recommended upgrades that could affect YOUR evaluation of the property, prior to waiving your Inspection contingency.

Inconclusive/ Limited Inspection

Inconclusive/ Limited Inspection There is not enough observable information to form a meaningful opinion within the scope of this home inspection. The System or Component was not fully inspected due to lack of accessibility, risk of damage, lack of power, for health/ safety reasons, it was disconnected or not responding to normal operating controls at the time of the inspection. Unknown conditions exist that may be a DEFECT. To reduce your risk of significant consequences, we advise further evaluation and approval or a remedial cost estimate of this and all other similar systems or components by a QUALIFIED SPECIALIST prior to the end of your inspection contingency.

Maintenance

We advise you to distinguish between contractors licensed TO EVALUATE THE CONDITION and provide a PROPER SPECIFICATION OF REPAIRS and those only qualified TO PERFORM THE WORK. If you are unsure of the consequences, we advise you to seek counsel from a Qualified Specialist.

System or Component can benefit by improvement/ maintenance/ attention. To some degree, the urgency to address, improve, repair, replace, or service this and all similar conditions as appropriate, is subjective. If you are unsure of remedial costs and this is important to you, contact a qualified specialist for further evaluation and cost estimate/s.

General Information

Property Information

Property Address: 123 Main St
City: Hometown State: WI Zip: 53105
AirMap SAFE TO FLY per B4UFLY - Confirm onsite

Client Information

Client Name: Homer Buyer

Inspection Company

Anderson Home Inspection, Ilc

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Prepared for: Homer Buyer
123 Main St

General Information (Continued)

Inspector Name Donn Anderson
Company Name Anderson Home Inspection, Ilc
Inspection Company Address: 5712 W Peninsula Rd
Inspection Company City: Waterford, State: WI Zip: 53185
Inspection Company Phone: (262)534-5075

Conditions

Others Present: Client/s Property Occupied: Yes - The property was occupied or staged at the time of the inspection. Common limitations to inspections of occupied properties include: 1. Performance or condition of windows blocked by furniture or stored items. 2. Performance or condition of under sink plumbing blocked by stored items. 3. Performance or condition of inaccessible electrical outlets. 4. Condition of Walls or Floors covered by furnishings and or personal belongings.

The WI Standards of Practice does not require inspectors to move or climb over obstructions to facilitate inspections. For liability and safety reasons, Anderson Home Inspection, Ilc will not touch personal property to facilitate inspections under any circumstances.

Inspection Date: 2023-12-01

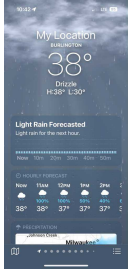
Start Time: 10:15 AM End Time: 2:30 PM

Electric On: Yes

Gas/Oil On: Yes

Water On: Yes

Temperature (F): 38



Weather: Raining Soil Conditions: Wet

Front Faces: South is the direction the house is assumed to be facing regardless of the actual direction the home is facing, in order to simplify orientation in this report



Space Below Grade: Basement

Building Type: c1995 Colonial 2285sf - Water Intrusion Garage: n/a, Attached

Note IMPORTANT: THIS REPORT IS NOT A HOME INSPECTION. AT THE REQUEST OF MS. HOMEOWNER, IT IS SOLELY A WATER INTRUSION INSPECTION WITH A SPECIFIC FOCUS ON THE AREA WHERE DAMAGE HAS OCCURED TO THE KITCHEN CEILING. THIS AREA, THE ADJACENT PANTRY, GARAGE AND ATTIC WERE INSPECTED TO HELP DETERMINE THE SOURCE OF WATER ENTRY.

A HOME INSPECTION is NOT A CODE INSPECTION. IF REMODELING HAS BEEN DONE, OR YOU SUSPECT THAT

General Information (Continued)

REMODELING HAS BEEN DONE, CONTACT THE MUNICIPALITY TO CONFIRM THAT ALL PERMITS WERE PULLED AND CLOSED. A HOME INSPECTION IS NOT A HOME WARRANTY, IT IS NOT A MAINTENANCE LIST, IT IS NOT A PUNCH LIST OR A WISH LIST OF ITEMS YOU FEEL SHOULD HAVE BEEN MAINTAINED TO YOUR STANDARDS. IT IS PRIMARILY ABOUT DEFECTS. OTHER CONDITIONS HAVE BEEN LISTED AS A COURTESY BECAUSE WE FEEL THE MORE KNOWLEDGE YOU HAVE, THE BETTER YOU WILL BE PREPARED TO MAKE A WELL-INFORMED HOME BUYING DECISION

A HOME INSPECTION is a process by which a home inspector examines the OBSERVABLE systems and components to real property that are readily accessible. A competent and diligent home inspection is not technically exhaustive. Learn more about a home inspection by reading the WI state Standards of Practice.

A HOME WARRANTY is a service contract that will help cover repairs or replacements to the major components of a homes systems and appliances that fail. It is like an insurance policy. Read the terms of any Home Warranty company policy prior to purchasing. Different policies cover different components for different lengths of time and with different deductibles.

VERY IMPORTANT: If you want to reduce your risks of encountering problems, beyond the scope of a Home Inspection, after you move in, we STRONGLY encourage you to discuss the benefits of obtaining A HOME WARRANTY with your real estate agent or attorney.

PURPOSE, LIMITATIONS AND INSPECTOR/ CLIENT RESPONSIBILITIES

It is IMPORTANT that you READ the Entire Report, PARTICULARLY and starting with the SUMMARY/S. If any issue is unclear, contact the inspector for clarification PRIOR to the end of your inspection contingency. This property inspection report includes an inspection Agreement/ Contract and may include addenda and other information related to property conditions. By not following our advice for Further Evaluation or Service by a Qualified Specialist, you violate the terms of our Agreement/ Contract and will hold Anderson Home Inspection, Ilc and its Inspectors, harmless for any subsequent alleged defects or deficiencies.

The Inspection and Report will conform to CURRENT Standards of Practice set forth in WI State Statute 440.975 and SPS 131 Subchapter IV of the Wisconsin Administrative Code.

Per the WI State Standards of Practice, the inspector does NOT turn on decommissioned equipment, systems, and utility services or apply any open flame or light a pilot to operate any appliances. The inspector does NOT climb over obstacles, move furnishings or stored items. For liability and safety reasons, the inspector will not move personal property to facilitate inspections under any circumstance.

A HOME INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS.

Per the State of WI Standards of Practice, NOT EVERY WINDOW, DOOR, ELECTRICAL OUTLET, PLUMBING FITTING, ETC. IS INSPECTED.

CONDITIONS NOTED IN THE REORT, and IMAGES/ PHOTOS of various Systems or Components represent only a SAMPLE of the current condition and may or may not be indicative of the condition of all similar components. For example, an image or comment regarding a rotted wood window sash does not necessarily indicate that all of the wood window sashes are rotted nor does it necessarily indicate the only rotted window sash. A comment regarding poor flashing at the chimney does not necessarily indicate that all of the roof flashing is in poor condition, nor is it indicative of the only instance of poor flashing. Since it is beyond the scope of this inspection to observe every window, door, electrical outlet, etc., if the report indicates that there is a sub-standard condition of a component or system, we

General Information (Continued)

advise further evaluation of ALL similar components/ systems; i.e., roof flashings, windows, doors, electrical outlets, trim, etc. by a qualified professional prior to the end of your inspection contingency to confirm quantities of components needing repair, replacement, attention, etc. and a remedial cost estimate.

The inspection does not reveal every deficiencies. A real estate inspection HELPS REDUCE SOME OF THE RISK involved in purchasing a home, but it does not eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is advised that you obtain as much information as is available about this property, including sellers disclosures, previous inspection reports, engineering reports, building/ remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspectors responsibility to confirm that information obtained from the sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

IMPORTANT: A Home Inspection is NOT an inspection for CODE COMPLIANCE. Reference to a code or statute may be included in the report to indicate the condition is not solely the opinion of the inspector. Regulatory or Code requirements vary by municipality and are continuously revised. Some existing conditions which may have been acceptable at the time of construction, may not comply with today's minimum standards and may not require updating. They may be listed in the report as ENC (Existing Non-Compliant). Residential construction codes went into effect in Wisconsin, after 1/1/1980. There may be suggestions or recommendations of upgrading or updating certain conditions to help minimize health or safety risks.

Some materials in the report may be described as Painted. Determining the material below the painted surface is beyond the scope of this inspection. Some systems or components may not have been visually accessible due to stored personal belongings, furnishings wall covering, etc. You may find LVA (Limited Visual Access) or Limitations in the report. If you see this designation, Ratings designated to this system or component are limited to observable conditions. Do not hesitate to contact us to discuss the consequences of not having a more invasive inspection of these systems or components. Ratings of Systems or Components that had Limited Visual Access are only in regards to conditions that were observed at the time of the inspection.

IMPORTANT: LVA (Limited Visual Assessment) Where references are made to visual limitations due to stored belongings, furnishings, insulation, etc., ratings of conditions are based solely on conditions observed at the time of the inspection.

MOLD DISCLAIMER: Mold and microbial growth investigation is not included with this report. It is beyond the scope of this inspection and any reference to water intrusion or microbial growth should be fully evaluated by a licensed specialist such as a microbiologist or industrial hygienist if more information is required.

As Appropriate, is used throughout the report and may mean per the manufacturer's specifications/ recommendations or per industry standards when discussing the condition of Mechanical, Electrical and Plumbing systems and it may be subjective based on what is appropriate or acceptable to YOU if it's in regards to the condition of wood windows or other components that arguably may be cosmetic and beyond the scope of this inspection. Though wood may have dark blotchy stains, it is not necessarily rot or a condition that would significantly compromise the function of a window. People have different opinions regarding acceptable or appropriate. When using the word in the subjective sense, it's important to consider whether or not the condition would be considered a Defect or if it is more of a Maintenance condition. Ask yourself if you are willing to walk away from the property over a specific condition and risk losing your investment to date.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is

General Information (Continued)

the clients responsibility to obtain further evaluations and/ or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as your home inspection contingency. Evaluations by qualified specialists may lead to discovery of additional deficiencies which may involve additional repair costs. Failure to evaluate sub standard conditions noted in this report may lead to further deterioration of the condition and add to the original remedial costs. The inspector does not and is not required to provide follow-up services to verify that proper repairs have been made. Every item of concern should be re-inspected and corrected by a specialist. Do not fix it yourself. If you suspect that a concern might be the result of amateur work, have a specialist re-examine the entire system to see if the amateur made errors elsewhere. If you allow a seller to correct concerns, you will likely not have any legal recourse if the remedial action proves to be inadequate.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof at the time of the inspection, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid.

IMPORTANT: Any rating or verbiage indicating that a condition is questionable, sub-standard, adverse, in need of attention, correction, improvement, maintenance, repair, replacement, remedial action, etc. indicates our advice to contract a qualified professional of YOUR CHOICE, PRIOR to the end of your inspection contingency for further evaluation of that System and approval or a remedial cost estimate. The negative effects of substandard Electric, Plumbing, Carpentry, etc. can be costly and have hazardous consequences.

This Report is for the exclusive use of our client/s with this transaction only and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

Note: If remodeling has been done, contact the municipality and confirm that all building/ remodeling permits have been pulled and closed. Contact your insurance agent to learn if the house has had water or fire claims. If repair work has been performed without the benefit of a permit, you could be exposed to the negative consequences of sub-standard workmanship.

IMPORTANT: This report is the sole intellectual property of the client/s named on the cover page and is not transferable to interested 3rd parties.

When you purchase a home that is 20 years old or more, it is important to realize that Roofs, Heating and Cooling systems, Windows and Water Heaters may be past the end of their design lives and may need replacement. Often these systems and components have already been replaced. Windows in particular can last much longer than 20 years if they are properly maintained. Insulated glass panels in windows will often have failed seals or fogging and condensation after 20 years. Proper maintenance is usually the key to longevity. Even if there are no unusual outward signs of wear on a furnace or air conditioner, there may be concealed issues that cannot be determined with a visual home inspection. If you want a more thorough evaluation of any system or component than what is within the scope of a home inspection, contact a qualified specialist for further evaluation.

General Information (Continued)

Agent: N/A - Owner Occupant

Roof

WI Standard of Practice for Home Inspectors, RL 134.04 (1)(d) requires that an inspector: Describe the condition that if not repaired, will have significant adverse effect on the life expectancy of the Roof & (e) List any material adverse facts that a home inspector has knowledge of or has observed. A Wisconsin Home Inspector is not required to walk on the roof, observe attached accessories such as solar heating systems, antennae, lightning arrestors or internal gutter and downspout systems. The description of the roof and its components is for general information only.

Normal roof maintenance includes: 1. Annual evaluation and as needed, maintenance, repair or replacement of flashing at roof penetrations, transitions, and terminations. (e.g.: chimneys, plumbing stacks, dormer sidewall flashings, valleys, electrical mast head assembly, etc.), 2. Periodic caulking of flashing and exposed nail heads to prevent leaks, 3. Occasional repair or replacement of damaged sections of roof covering. NOTE: Roofs often leak at chimney surfaces, chimney flashing, sidewall flashing and other transitions, penetrations and terminations. Unless it is raining at the time of the inspection, and or there are significant holes in the roof covering or flashings, roof leaks are extremely difficult if not impossible to predict. Though the flashing around the chimney may appear to be unremarkable at the time of the inspection, water may enter a tiny gap at the chimney/ flashing at times of significant rain or snow melt. Water infiltration at the chimney/ flashing is an ongoing maintenance issue that is the responsibility of all property owners. Dormers typically have sidewall and lower flashings that deteriorate over time and require attention. Be sure to check all roof flashings as part of your normal maintenance routine to prevent water infiltration. Improper roof drainage is one of the major contributing factors to foundation problems. Gutters and downspouts must be kept clean and properly extended at least 5' - 6' away from the foundation walls. There should be one downspout for every 600 - 800 square feet of roof covering. Winter freeze/ thaw conditions are unpredictable. Due to the negative consequences associated with ice dams during Wisconsin winters, we strongly encourage you to read: Ice damming: <http://www.carsondunlop.com/pdf/re-thinking%20ice%20damming.pdf>

Determining the age of the roof covering, the number of layers or compliance with manufacturer's installation requirements is beyond the scope of this inspection. Lifting sealed shingles poses a risk of damage and susceptibility to future wind lift, ice damming problems and water infiltration. Roof and trim flashing can often hide the actual number of layers. There can be a significant cost difference in removing multiple layers of shingles as opposed to removing one layer.

Unless documented otherwise in this report, the roof covering appears to be shedding water as intended by design at the time of the inspection.

The Roof Surface

1. Method of Inspection: Drone, Walked. The Inspector inspected the garage roofing materials and components by walking sections of the roof surface.
2. UNREMARKABLE

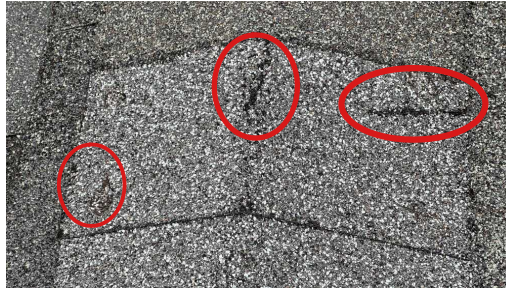
Material/s: Composition shingles

Roof (Continued)

3. Maintenance

Ridge Cap: ! Worn, torn. Repair/ replacement of affected sections advised.

Even a small tear can create a path for moisture intrusion to enter the building envelope.



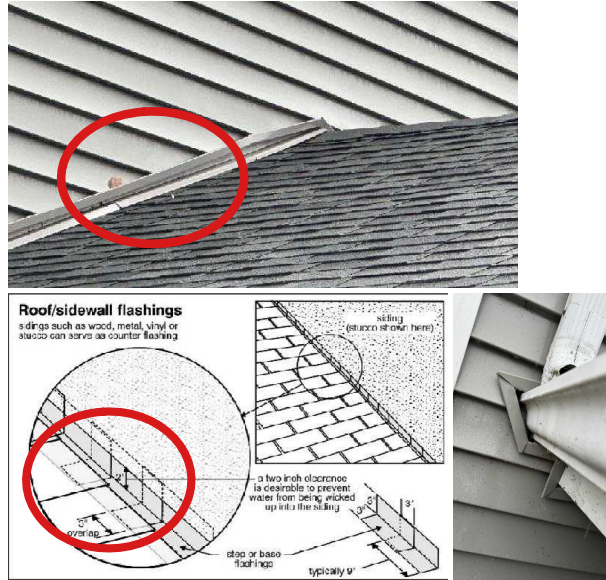
4. Defect Needs Attention/ Further Evaluation

Flashing: Metal, Rubber - Existing sidewall flashing is in direct contact with the garage roof shingles. The diagram on the right shows the proper 2 inch gap between the shingles and the siding. This gap allows inspection of the step flashing for condition (rust, wear, etc.) and movement that compromises the effectiveness of shedding water.

The siding/ trim details where the gutter meets the house is non-professional and promotes water intrusion. We advise "proper" remedial action by a qualified specialist to help prevent water from entering between the siding and the wall sheathing and structural components. Water entry typically promotes decay and microbial growth.

Roof (Continued)

Flashing: (continued)



5. UNREMARKABLE

Plumbing Vent/s: PVC - From the exterior, the PVC and the flashing appear normal. From the attic, you see active leaking due to an improperly patched connection (see comments and image/s in Attic Section)

Roof (Continued)

Plumbing Vent/s: (continued)



6. Defect Needs Attention/ Further Evaluation

Gutters & Downspouts: Metal - Standing water. Reinstall gutter/s with a proper slope to help prevent ice damming in winter which typically leads to water intrusion and damage/ decay and microbial growth to the interior of the home or attached garage. Appropriate remedial action advised



7. Defect Needs Attention/ Further Evaluation

Signs of Leaks: ! Poor trim details between the garage and home promote water intrusion and areas of high risk of water intrusion and subsequent consequences such as concealed decay and microbial growth.

Have exterior transitions and terminations evaluated by a "qualified" professional for a remedial cost estimate.

8. UNREMARKABLE

Special Attention: ! Currently no significant signs of water intrusion were observed at the time of the inspection from the overhead access panel in the garage.



Roof (Continued)

Special Attention: (continued)



Side Chimney

9. Inconclusive/ Limited Inspection

Chimney: Metal pipe, Framed covering over the chimney flue limits the visual assessment

10. Defect Needs Attention/ Further Evaluation

Flue/ Crown (cap): Metal flue/ metal cap - Corrosion around metal chimney cap. Appears to allow moisture intrusion into the flue enclosure. This can lead to decay and microbial growth if not properly addressed.

We advise further evaluation by a qualified professional (architectural sheet metal worker) for a remedial cost estimate. Typically the metal cap should have an angled hem at the bottom to direct water away from the flue enclosure and the interior dimensions of the cap should be larger than the exterior dimensions of the top of the flue enclosure.



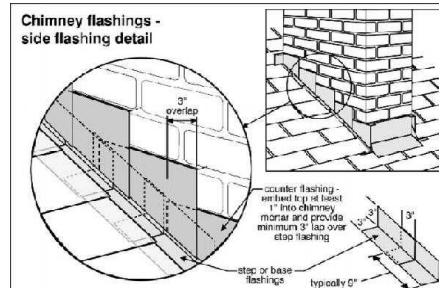
11. Inconclusive/ Limited Inspection

Chimney Flashing: Metal - Siding proximity limits visual assessment of flashing condition at roof/ chimney junction



Roof (Continued)

Chimney Flashing: (continued)



Interior

After 2/1/2011, one and two family dwellings in Wisconsin require smoke alarms and carbon monoxide alarms in the basement and on each floor. For proper placement of alarms, more information about the current requirements and for regulations that affect three or more family dwellings, see <http://legis.wisconsin.gov/rsb/code/commm/commm021.pdf> and <http://legis.wisconsin.gov/rsb/code/comm/comm028.pdf>

For safety reasons, we strongly advise installing new combination ionization/ photoelectric smoke detectors upon occupancy, changing the batteries twice each year and replacing the detector every 5 years.

Inspecting wall and floor covering such as carpeting, tile, wood flooring, and other cosmetic finish treatments is beyond the scope of a home inspection. The state standard of practice requires an inspection of a random sampling of doors and windows and the operation of a representative number of installed lighting fixtures, switches and receptacles. After occupancy, there is a possibility that you may discover that not all of the outlets or windows meet your expectations. If this possibility concerns you, we advise a walk through prior to the end of your inspection contingency to confirm the condition of all doors, windows, outlets, etc. Since checking ALL receptacles is beyond the scope of this inspection, if there are any references to sub-standard electrical conditions, we strongly advise you to consider having an inspection of the electrical system by a licensed electrical contractor prior to the end of your inspection contingency.

Though the inspection of paint on walls, ceilings, trim, etc, is not within the scope of this inspection, peeling or flaking of lead base paint in homes built prior to 1978 may be a health concern. We advise using lead certified painting contractors for any painting needed on homes built prior to 1978. <http://www.epa.gov/lead/pubs/renovation.htm>

Due to the risk of damaging personal property, moving personal items, furnishings or furniture is beyond the scope of a home inspection. We request accessibility to the attic, foundation walls and mechanical equipment when the appointment is originally scheduled. If areas have not been made accessible, we advise you to consider the risk of financial consequences.

Windows can last for decades if properly maintained. WE ADVISE CHECKING WINDOWS ANNUALLY FOR FUNCTION AND SAFETY. Sash springs and cords will become weak with age and window sashes can fall unexpectedly resulting in broken glass and or personal injury.

Window glass was evaluated on a best efforts basis to determine thermal seal failure. Often, a failed seal cannot be determined during the assessment due to cleanliness of the glass, varying weather conditions or humidity. Therefore, no representations are made as to the condition of every window.

IMPORTANT: Though inspecting for mold is beyond the scope of this inspection, if there are signs of moisture or if leaks have occurred, there is a potential for microbial growth behind walls & ceilings. If there are any indications that leaks have occurred and this issue is important to you, contact a qualified specialist such as a microbiologist for further evaluation prior to the end of your inspection contingency

The Living Space

Anderson Home Inspection, LLC

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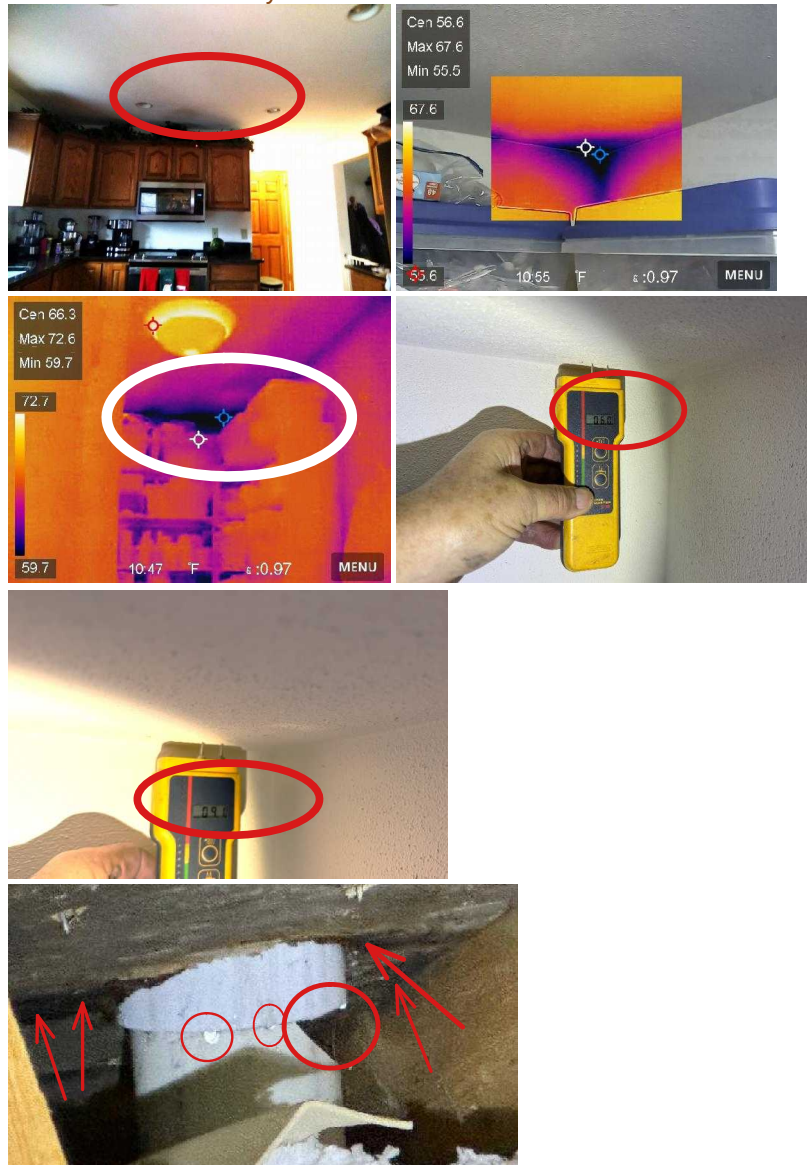
Prepared for: Homer Buyer
123 Main St

Interior (Continued)

1. Inconclusive/ Limited Inspection

Moisture Signs: ! Moisture staining noted on the kitchen ceiling adjacent to the pantry.
Cold (dark blue) area in the corner of the pantry ceiling indicates a place susceptible to dew point condensation issues.
Moisture meter test indicates current wet condition. Note: It was raining intermittently at the time of the inspection. The high moisture levels may have been caused by the leak at the soil stack noted in the attic section of this report.

Further evaluation of garage roof/ house wall transition/s advised to determine if water intrusion is contributory to this condition. Water intrusion will lead to concealed microbial growth if not properly addressed in a timely manner



2. UNREMARKABLE

Ceilings & Walls: Wallboard

Interior (Continued)

3. Defect Needs Attention/ Further Evaluation Special Attention Interior: ! Ongoing episodes of water entering roof at the soil stack and pouring from kitchen ceiling (see Ms. Homeowner's video) have "likely" created areas of concealed microbial growth on the back side of the wallboard in the kitchen, pantry and attic. Further evaluation and appropriate remedial action advised.
- Due to negative health consequences, we advise mold sampling to confirm the existence of microbial growth.

Attic

The inspection of the attic includes visual assessment for structural integrity, water infiltration, insulation and ventilation concerns, signs of high humidity and consequences such as rotted framing members. Unless there is significant rain at the time of the inspection, detecting ongoing leaks in the attic or the interior of the home can be difficult if not impossible to predict. Verbiage in this report indicating ... signs of past or ongoing leaks, is not definitive. Stained building components are typically a sign of past leaking but not a definitive sign of ongoing leaks. IMPORTANT: If past or ongoing leaks are not properly addressed in a timely manner, they can be contributory to microbial growth.

Attics and all related components are inspected visually from an area that does not put either the inspector or the home at risk. The method of inspection is at the sole discretion of the inspector and depends on accessibility, clearances, insulation levels, stored items, temperature, vermin droppings, mold like substances, etc. Inspectors will access the attic, if possible. Many attics are too dangerous to fully enter or are not accessible due to design. Inspecting for hidden attic damage is beyond the scope of a home inspection, yet hidden damage is always a possibility.

Overhead Attic

1. Method of Inspection Access panel/s. Due to the risk of damage to electrical components buried below the insulation, the attic was inspected from the access panel/s for safety reasons. Ratings are based on observed conditions at the time of the inspection
2. Inconclusive/ Limited Inspection Unable to Inspect: ! Insulation limited visual assessment. Ratings are based on observable conditions.

NOTE blackened OSB roof decking around the soil stack penetration. Repair/ replace damaged section of plumbing soil stack and install a new boot flashing to help prevent ongoing water intrusion which has led to decay and deterioration and possible microbial growth. This area appears to be contributing to ongoing damage to kitchen and pantry ceilings



Attic (Continued)

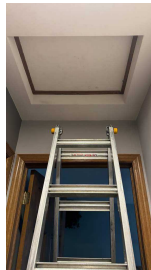
3. Defect Needs Attention/ Further Evaluation

Signs of Leaks/ Moisture: ! Moisture/ active leaking and decay noted. Contact a qualified specialist for further evaluation and a remedial cost estimate



4. UNREMARKABLE

Attic Access Ceiling panel/s - Hallway



5. UNREMARKABLE

Attic type: Overhead crawl space

6. UNREMARKABLE

Roof Framing: Wood trusses

7. UNREMARKABLE

Sheathing/ Decking: Oriented Strand Board



8. UNREMARKABLE

Insulation: Fiberglass loose fill R 2.5/in

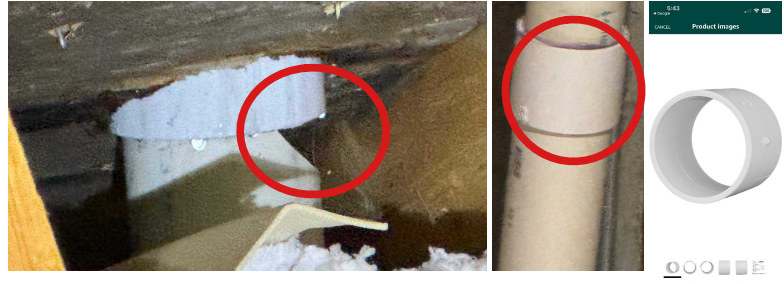
9. Defect Needs Attention/ Further Evaluation

Plumbing Soil Stack: PVC - **Damaged**. Active leaking observed. (image on the left) Appropriate corrective action advised.

Typical repair would include cutting/ squaring up soil stack, properly installing the correct connector (example - image on the right) and another section of PVC to penetrate the roof to the proper height. The current boot flashing appears to be in good condition but confirm with the contractor who performs the remedial work

Attic (Continued)

Plumbing Soil Stack: (continued)



Final Comments

* IMPORTANT: READ THE FOLLOWING CAREFULLY: The inspection was performed by a home inspector, not an engineer, licensed plumber, electrician, roofer, HVAC contractor, biologist, mechanic, or foundation specialist. We do not guarantee the home against defects.

If you want a guarantee or warranty, you should purchase one from a company who sells them. What we do is point out areas of concern and provide you with useful information about potential problems and home maintenance issues.

The Summaries provide a brief overview of the full report. They are not all encompassing and are not to be used in lieu of the full report. We do not wish to represent ourselves as more knowledgeable than "Qualified Specialists". Any rating or verbiage other than Unremarkable is a condition which is sub-standard, adverse, in need of attention, correction, improvement, maintenance, repair, replacement, remedial action, etc. and indicates our advice for Further Evaluation by a Qualified Professional of YOUR choice PRIOR to the end of your inspection contingency for approval or a repair cost estimate. For your best protection, confirm that all Repairs or Improvements by Qualified Specialists will be per Regulatory Requirements, Manufacturer's Specifications, Engineering Calculations or Industry Standards, whichever is the more stringent. If unsure, seek legal counsel.

Further evaluations by qualified specialists typically incur extra costs. The amount of money you spend on the specialist may save you thousands as they often find issues beyond the scope of a home inspection. Carefully read the ENTIRE report prior to waiving your inspection contingency. Some conditions that we think of as maintenance may be issues you consider significant even though they may not be recognized as a condition of your sales contract.

ONE OF THE MOST IMPORTANT THINGS TO REMEMBER ABOUT BEING A HOME OWNER IS THAT ALL HOMES REQUIRE ONGOING MAINTENANCE. AS TIME GOES ON, THE SYSTEMS AND COMPONENTS OF YOUR HOME WILL WEAR OUT, BREAK DOWN, DETERIORATE, LEAK OR SIMPLY STOP WORKING. If you do not inspect and maintain all roof flashings and maintain proper slope of the surfaces around the perimeter of the foundation walls, ANTICIPATE LEAKS!

On pages 84 and 85 of the Manual we provided you at the time of the inspection, is a Seasonal Maintenance Checklist. We strongly advise you to follow this guide and add to it as you learn more about your home over the years.

NOTE: This report was prepared by Donn Anderson on the same day it was inspected, >SoP>

STANDARDS OF PRACTICE

SPS 131.31 - General requirements.

(1) A home inspector shall perform a reasonably competent and diligent home inspection of the readily accessible installed systems and components required to be inspected under s. SPS 131.32 to detect observable conditions of an improvement to residential real property. A reasonably competent and diligent home inspection is not required to be technically exhaustive.

Final Comments (Continued)

(2) This section does not require a home inspector to do any of the following:

- (a) Offer a warranty or guarantee of any kind.
- (b) Calculate the strength, adequacy or efficiency of any component of an improvement to residential real property.
- (c) Enter any area or perform any procedure that may damage an improvement to residential real property or a component of an improvement to residential real property, or enter any area or perform any procedure that may be dangerous to the home inspector or to other persons.
- (d) Operate any component of an improvement to residential real property that is inoperable.
- (e) Operate any component of an improvement to residential real property that does not respond to normal operating controls.
- (f) Disturb insulation or move personal items, furniture, equipment, vegetation, soil, snow, ice or debris that obstructs access to or visibility of an improvement to residential real property or a component of an improvement to residential real property.
- (g) Determine the effectiveness of a component of an improvement to residential real property that was installed to control or remove suspected hazardous substances.
- (h) Evaluate acoustic characteristics of a component of an improvement to residential real property.
- (i) Project or estimate the operating costs of a component of an improvement to residential real property.
- (j) Predict future conditions, including the failure of component of an improvement to residential real property.
- (k) Inspect for the presence or absence of pests, including rodents, insects and wood-damaging organisms.
- (m) Inspect for the presence of any hazardous substances.
- (n) Disassemble any component of an improvement to residential real property, except for removing an access panel that is normally removed by an occupant of residential real property.

(3) This section does not prohibit a home inspector from doing any of the following:

- (a) Reporting observations or conditions in addition to those required under this section.
 - (b) Excluding a component of an improvement to residential real property from the inspection, if requested to do so by his or her client.
 - (c) Engaging in an activity that requires an occupation credential if he or she holds the necessary credential.
- SPS 131.32 Mechanical and structural components included in a home inspection. A reasonably competent and diligent home inspection shall meet the standards in subs. (1) to (11) and shall include an inspection of, and report on, all of the following items that are present on the property at the time of the home inspection:

- (1) FOUNDATIONS. A home inspector shall observe and describe the type and condition of the foundation.
- (2) COLUMNS. A home inspector shall observe and describe the type and condition of columns.
- (3) FLOORING SYSTEMS. A home inspector shall observe and describe the type and condition of flooring systems.
- (4) ROOFS.

(a) A home inspector shall observe and describe the condition of all of the following:

- 1. Roof coverings, including type.
- 2. Roof drainage systems.
- 3. Flashings.
- 4. Skylights, chimneys and roof penetrations.
- 5. Signs of leaks or abnormal condensation on building components.

(b) A home inspector shall describe the methods used to observe the roof.

(c) A home inspector is not required to do any of the following:

- 1. Walk on the roofing.
- 2. Observe attached accessories, including, but not limited to, solar systems, antennae and lightning arrestors.
- 3. Observe internal gutter and downspout systems and related underground drainage piping.

(5) EXTERIORS.

(a) A home inspector shall observe and describe the condition of all of the following:

- 1. Wall claddings, including type.
- 2. Flashings and trim.
- 3. Entryway doors and at least one window per side of a dwelling unit.

Final Comments (Continued)

4. Garage door operators, including whether any garage door operator automatically reverses or stops when meeting reasonable resistance during closing.
5. Decks, balconies, stoops, steps and porches including railings.
6. Eaves, soffits and fascias.
7. Grading, drainage, driveways, patios, walkways, and retaining walls that abut the dwelling unit.
- (b) A home inspector shall operate all entryway doors, garage doors, and at least one window per side of a dwelling unit.
- (c) A home inspector is not required to observe the following:
 1. Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories.
 2. Locks, latches or other security devices or systems.
 3. Intercom systems.
 4. Fences or privacy walls.
 5. Insulation or vapor barriers in exterior walls.
 6. Safety glazing.
 7. Garage door operator remote control transmitters.
 8. Geological or soil conditions.
 9. Recreational facilities.
 10. Outbuildings other than garages and carports.
 11. Trees, shrubs and other vegetation.
- (6) PLUMBING SYSTEMS.
 - (a) A home inspector shall observe and describe the condition of all of the following:
 1. Interior water supply and distribution system, including piping materials, supports, fixtures, faucets, functional flow and drainage, leaks and cross connections.
 2. Interior drain, waste and vent system, including traps, drain, waste, and vent piping, piping supports and leaks.
 3. Hot water systems, including water heating equipment, normal operating controls, automatic safety controls, and the exterior surfaces of chimneys, flues, and vents.
 4. Fuel storage and distribution systems, including interior fuel storage equipment, supply piping, venting, supports and leaks.
 5. Sump pumps.
 - (b) A home inspector shall operate all plumbing fixtures, including their faucets and accessible exterior faucets attached to the dwelling unit.
 - (c) A home inspector is not required to do any of the following:
 1. State the effectiveness of antisiphon devices.
 2. Determine whether the water supply and waste disposal systems are public or private.
 3. Operate automatic safety controls or sump pumps equipped with internal or water dependent switches.
 4. Operate any valve except water closet flush valves, fixture faucets and hose faucets.
 5. Observe water conditioning systems, fire and lawn sprinkler systems, onsite water supply quantity and quality, onsite disposal systems, foundation drainage systems, or spas.
 6. Observe the interior of flues, chimneys and vents, or solar water heating systems.
 7. Observe any exterior plumbing components such as water mains or swimming pools.
 8. Determine water temperature.
 9. Determine the proper sizing, design or use of plumbing materials.
- (7) ELECTRICAL SYSTEMS.
 - (a) A home inspector shall observe and describe the condition of all of the following:
 1. Service entrance conductors.
 2. Service equipment, grounding equipment, main over current device.
 3. Main and distribution panels, including their location.
 4. Amperage and voltage ratings of the service, including whether service type is overhead or underground.
 5. Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages,

Final Comments (Continued)

including any aluminum branch circuit wiring.

6. The operation of a representative number of installed lighting fixtures, switches and receptacles located inside the house, garage and any exterior walls.

7. The polarity and grounding of all receptacles within 6 feet of interior plumbing fixtures, in the garage or carport, and on the exterior of inspected structures.

8. The operation of ground fault circuit interrupters.

9. The functionality of the power sources for smoke detectors.

(b) A home inspector is not required to do any of the following:

1. Insert any tool, probe or testing device inside the panels.

2. Test or operate any over current device except ground fault circuit interrupters.

3. Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels.

4. Observe low voltage systems, telephones, security systems, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution systems.

5. Measure amperage, voltage or impedance.

(8) INTERIORS.

(a) A home inspector shall observe and describe the condition of all of the following:

1. Walls, ceilings and floors.

2. Steps, stairways, balconies and railings.

3. Counters and all sink base cabinets.

4. A random sample of doors and windows.

5. Separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit.

6. Signs of water penetration into the building or signs of abnormal or harmful condensation on building components.

(b) A home inspector is not required to observe any of the following:

1. Paint, wallpaper, and other cosmetic finish treatments on the interior walls, ceilings and floors.

2. Carpeting.

3. Draperies, blinds or other window treatments.

4. Household appliances.

5. Recreational facilities or another dwelling unit.

(9) HEATING SYSTEMS.

(a) A home inspector shall observe and describe the condition of all of the following within a permanently installed heating system:

1. Heating equipment and distribution systems.

2. Normal operating controls and energy source.

3. Automatic safety controls.

4. Exterior surfaces of chimneys, flues and vents.

5. Solid fuel heating devices.

6. The presence of an installed heat source in each room.

(b) A home inspector shall operate the systems using normal operating controls and open readily accessible access panels provided by the manufacturer or installer for routine homeowner maintenance.

(c) A home inspector is not required to do any of the following:

1. Operate heating systems when weather conditions or other circumstances may cause equipment damage.

2. Operate automatic safety controls.

3. Ignite or extinguish fuel fires.

4. Observe the interior of flues, fireplace insert flue connectors, humidifiers, electronic air filters, or the uniformity or adequacy of heat supply to the various rooms.

5. Observe a heat exchanger unless it is readily observable and normally accessible to an occupant of a dwelling unit.

(10) CENTRAL AIR CONDITIONING.

(a) A home inspector shall observe and describe the condition of all of the following:

Final Comments (Continued)

1. Cooling and air handling equipment, including type and energy source.
 2. Normal operating controls.
 3. The presence of an installed cooling source in each room.
 - (b) A home inspector shall operate the systems, using normal operating controls, and open readily accessible access panels provided by the manufacturer or installer for routine homeowner maintenance.
 - (c) A home inspector is not required to do any of the following:
 1. Operate cooling systems when weather conditions or other circumstances may cause equipment damage.
 2. Observe noncentral air conditioners.
 3. Observe the uniformity or adequacy of coolair supply to the various rooms.
 4. Operate electronic air filters.
 5. Observe the pressure of the system coolant or determine the presence of leakage.
 6. Test the electrical current drawn by the unit.
 - (11) INSULATION AND VENTILATION.
 - (a) A home inspector shall observe and describe the condition of all of the following:
 1. The presence or absence of insulation in unfinished spaces.
 2. Ventilation of attics and foundation areas.
 3. Kitchen, bathroom, and laundry venting systems.
 - (b) A home inspector is not required to observe any of the following:
 1. Concealed insulation.
 2. Venting equipment which is integrated with household appliances.
- SPS 131.33 Contents of a home inspection report.
- (1) After completing a home inspection, a home inspector shall submit a written report to a client that does all of the following:
 - (a) Lists the items described in s. SPS 131.32 that a home inspector is required to inspect.
 - (b) Lists the items described in s. SPS 131.32 that a home inspector has inspected.
 - (c) Describes the condition of any item identified in s. SPS 131.32.
 - (d) Describes the condition of any item identified in s. SPS 131.32 that, if not repaired, will have significant adverse effect on the life expectancy of the identified item.
 - (e) Lists any material adverse facts that a home inspector has knowledge of or has observed.
 - (2) A home inspector is not required to report on any of the following aspects of items identified in s. SPS 131.32:
 - (a) Their life expectancy.
 - (b) The reason for the necessity of a major repair.
 - (c) The method of making any repair or correction, the materials needed for any repair or correction, or the cost of any repair or correction.
 - (d) The suitability for any specialized use of an improvement to residential real property.
 - (e) Whether they comply with applicable regulatory requirements.
 - (3) A home inspector may not report in writing or verbally on any of the following:
 - (a) The market value or marketability of a property.
 - (b) Whether a property should be purchased.
 - (4) A home inspector is not required to retain inspectors or investigators to perform follow-up inspections or investigations of any material adverse facts that a home inspector has knowledge of or has observed under sub. (1) (d)

* IMPORTANT: READ THE FOLLOWING CAREFULLY: The inspection was performed by a home inspector, not an engineer, licensed plumber, electrician, roofer, HVAC contractor, biologist, mechanic, or foundation specialist. We do not guarantee the home against defects.
If you want a guarantee or warranty, you should purchase one from a company who sells them. What we do is point out areas of concern and provide you with useful information about potential problems and home maintenance issues.

The Summaries provide a brief overview of the full report. They are not all encompassing and are not to be used in lieu
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Final Comments (Continued)

of the full report. We do not wish to represent ourselves as more knowledgeable than "Qualified Specialists". Any rating or verbiage other than Unremarkable is a condition which is sub-standard, adverse, in need of attention, correction, improvement, maintenance, repair, replacement, remedial action, etc. and indicates our advice for Further Evaluation by a Qualified Professional of YOUR choice PRIOR to the end of your inspection contingency for approval or a repair cost estimate. For your best protection, confirm that all Repairs or Improvements by Qualified Specialists will be per Regulatory Requirements, Manufacturer's Specifications, Engineering Calculations or Industry Standards, whichever is the more stringent. If unsure, seek legal counsel.

Further evaluations by qualified specialists typically incur extra costs. The amount of money you spend on the specialist may save you thousands as they often find issues beyond the scope of a home inspection. Carefully read the ENTIRE report prior to waiving your inspection contingency. Some conditions that we think of as maintenance may be issues you consider significant even though they may not be recognized as a condition of your sales contract.

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On pages 84 and 85 of the Manual we provided you at the time of the inspection, is a Seasonal Maintenance Checklist. We strongly advise you to follow this guide and add to it as you learn more about your home over the years.

NOTE: This report was prepared by Donn Anderson on the same day it was inspected.

STANDARDS OF PRACTICE

SPS 131.31 - General requirements.

(1) A home inspector shall perform a reasonably competent and diligent home inspection of the readily accessible installed systems and components required to be inspected under s. SPS 131.32 to detect observable conditions of an improvement to residential real property. A reasonably competent and diligent home inspection is not required to be technically exhaustive.

(2) This section does not require a home inspector to do any of the following:

- (a) Offer a warranty or guarantee of any kind.
- (b) Calculate the strength, adequacy or efficiency of any component of an improvement to residential real property.
- (c) Enter any area or perform any procedure that may damage an improvement to residential real property or a component of an improvement to residential real property, or enter any area or perform any procedure that may be dangerous to the home inspector or to other persons.
- (d) Operate any component of an improvement to residential real property that is inoperable.
- (e) Operate any component of an improvement to residential real property that does not respond to normal operating controls.
- (f) Disturb insulation or move personal items, furniture, equipment, vegetation, soil, snow, ice or debris that obstructs access to or visibility of an improvement to residential real property or a component of an improvement to residential real property.
- (g) Determine the effectiveness of a component of an improvement to residential real property that was installed to control or remove suspected hazardous substances.
- (h) Evaluate acoustic characteristics of a component of an improvement to residential real property.
- (i) Project or estimate the operating costs of a component of an improvement to residential real property.
- (j) Predict future conditions, including the failure of component of an improvement to residential real property.
- (k) Inspect for the presence or absence of pests, including rodents, insects and wooddamaging organisms.
- (m) Inspect for the presence of any hazardous substances.
- (n) Disassemble any component of an improvement to residential real property, except for removing an access panel

Final Comments (Continued)

that is normally removed by an occupant of residential real property.

(3) This section does not prohibit a home inspector from doing any of the following:

(a) Reporting observations or conditions in addition to those required under this section.

(b) Excluding a component of an improvement to residential real property from the inspection, if requested to do so by his or her client.

(c) Engaging in an activity that requires an occupation credential if he or she holds the necessary credential.

SPS 131.32 Mechanical and structural components included in a home inspection. A reasonably competent and diligent home inspection shall meet the standards in subs. (1) to (11) and shall include an inspection of, and report on, all of the following items that are present on the property at the time of the home inspection:

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(2) COLUMNS. A home inspector shall observe and describe the type and condition of columns.

(3) FLOORING SYSTEMS. A home inspector shall observe and describe the type and condition of flooring systems.

(4) ROOFS.

(a) A home inspector shall observe and describe the condition of all of the following:

1. Roof coverings, including type.

2. Roof drainage systems.

3. Flashings.

4. Skylights, chimneys and roof penetrations.

5. Signs of leaks or abnormal condensation on building components.

(b) A home inspector shall describe the methods used to observe the roof.

(c) A home inspector is not required to do any of the following:

1. Walk on the roofing.

2. Observe attached accessories, including, but not limited to, solar systems, antennae and lightning arrestors.

3. Observe internal gutter and downspout systems and related underground drainage piping.

(5) EXTERIORS.

(a) A home inspector shall observe and describe the condition of all of the following:

1. Wall claddings, including type.

2. Flashings and trim.

3. Entryway doors and at least one window per side of a dwelling unit.

4. Garage door operators, including whether any garage door operator automatically reverses or stops when meeting reasonable resistance during closing.

5. Decks, balconies, stoops, steps and porches including railings.

6. Eaves, soffits and fascias.

7. Grading, drainage, driveways, patios, walkways, and retaining walls that abut the dwelling unit.

(b) A home inspector shall operate all entryway doors, garage doors, and at least one window per side of a dwelling unit.

(c) A home inspector is not required to observe the following:

1. Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories.

2. Locks, latches or other security devices or systems.

3. Intercom systems.

4. Fences or privacy walls.

5. Insulation or vapor barriers in exterior walls.

6. Safety glazing.

7. Garage door operator remote control transmitters.

8. Geological or soil conditions.

9. Recreational facilities.

10. Outbuildings other than garages and carports.

11. Trees, shrubs and other vegetation.

(6) PLUMBING SYSTEMS.

Final Comments (Continued)

(a) A home inspector shall observe and describe the condition of all of the following:

1. Interior water supply and distribution system, including piping materials, supports, fixtures, faucets, functional flow and drainage, leaks and cross connections.
2. Interior drain, waste and vent system, including traps, drain, waste, and vent piping, piping supports and leaks.
3. Hot water systems, including water heating equipment, normal operating controls, automatic safety controls, and the exterior surfaces of chimneys, flues, and vents.
4. Fuel storage and distribution systems, including interior fuel storage equipment, supply piping, venting, supports and leaks.
5. Sump pumps.

(b) A home inspector shall operate all plumbing fixtures, including their faucets and accessible exterior faucets attached to the dwelling unit.

(c) A home inspector is not required to do any of the following:

1. State the effectiveness of antisiphon devices.
2. Determine whether the water supply and waste disposal systems are public or private.
3. Operate automatic safety controls or sump pumps equipped with internal or water dependent switches.
4. Operate any valve except water closet flush valves, fixture faucets and hose faucets.
5. Observe water conditioning systems, fire and lawn sprinkler systems, onsite water supply quantity and quality, onsite disposal systems, foundation drainage systems, or spas.
6. Observe the interior of flues, chimneys and vents, or solar water heating systems.
7. Observe any exterior plumbing components such as water mains or swimming pools.
8. Determine water temperature.
9. Determine the proper sizing, design or use of plumbing materials.

(7) ELECTRICAL SYSTEMS.

(a) A home inspector shall observe and describe the condition of all of the following:

1. Service entrance conductors.
2. Service equipment, grounding equipment, main over current device.
3. Main and distribution panels, including their location.
4. Amperage and voltage ratings of the service, including whether service type is overhead or underground.
5. Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages, including any aluminum branch circuit wiring.
6. The operation of a representative number of installed lighting fixtures, switches and receptacles located inside the house, garage and any exterior walls.
7. The polarity and grounding of all receptacles within 6 feet of interior plumbing fixtures, in the garage or carport, and on the exterior of inspected structures.
8. The operation of ground fault circuit interrupters.
9. The functionality of the power sources for smoke detectors.

(b) A home inspector is not required to do any of the following:

1. Insert any tool, probe or testing device inside the panels.
2. Test or operate any over current device except ground fault circuit interrupters.
3. Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels.
4. Observe low voltage systems, telephones, security systems, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution systems.
5. Measure amperage, voltage or impedance.

(8) INTERIORS.

(a) A home inspector shall observe and describe the condition of all of the following:

1. Walls, ceilings and floors.
2. Steps, stairways, balconies and railings.
3. Counters and all sink base cabinets.

Final Comments (Continued)

4. A random sample of doors and windows.
5. Separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit.
6. Signs of water penetration into the building or signs of abnormal or harmful condensation on building components.
- (b) A home inspector is not required to observe any of the following:
 1. Paint, wallpaper, and other cosmetic finish treatments on the interior walls, ceilings and floors.
 2. Carpeting.
 3. Draperies, blinds or other window treatments.
 4. Household appliances.
 5. Recreational facilities or another dwelling unit.
- (9) HEATING SYSTEMS.
 - (a) A home inspector shall observe and describe the condition of all of the following within a permanently installed heating system:
 1. Heating equipment and distribution systems.
 2. Normal operating controls and energy source.
 3. Automatic safety controls.
 4. Exterior surfaces of chimneys, flues and vents.
 5. Solid fuel heating devices.
 6. The presence of an installed heat source in each room.
 - (b) A home inspector shall operate the systems using normal operating controls and open readily accessible access panels provided by the manufacturer or installer for routine homeowner maintenance.
 - (c) A home inspector is not required to do any of the following:
 1. Operate heating systems when weather conditions or other circumstances may cause equipment damage.
 2. Operate automatic safety controls.
 3. Ignite or extinguish fuel fires.
 4. Observe the interior of flues, fireplace insert flue connectors, humidifiers, electronic air filters, or the uniformity or adequacy of heat supply to the various rooms.
 5. Observe a heat exchanger unless it is readily observable and normally accessible to an occupant of a dwelling unit.
- (10) CENTRAL AIR CONDITIONING.
 - (a) A home inspector shall observe and describe the condition of all of the following:
 1. Cooling and air handling equipment, including type and energy source.
 2. Normal operating controls.
 3. The presence of an installed cooling source in each room.
 - (b) A home inspector shall operate the systems, using normal operating controls, and open readily accessible access panels provided by the manufacturer or installer for routine homeowner maintenance.
 - (c) A home inspector is not required to do any of the following:
 1. Operate cooling systems when weather conditions or other circumstances may cause equipment damage.
 2. Observe noncentral air conditioners.
 3. Observe the uniformity or adequacy of coolair supply to the various rooms.
 4. Operate electronic air filters.
 5. Observe the pressure of the system coolant or determine the presence of leakage.
 6. Test the electrical current drawn by the unit.
- (11) INSULATION AND VENTILATION.
 - (a) A home inspector shall observe and describe the condition of all of the following:
 1. The presence or absence of insulation in unfinished spaces.
 2. Ventilation of attics and foundation areas.
 3. Kitchen, bathroom, and laundry venting systems.
 - (b) A home inspector is not required to observe any of the following:
 1. Concealed insulation.
 2. Venting equipment which is integrated with household appliances.

Final Comments (Continued)

SPS 131.33 Contents of a home inspection report.

(1) After completing a home inspection, a home inspector shall submit a written report to a client that does all of the following:

- (a) Lists the items described in s. SPS 131.32 that a home inspector is required to inspect.
 - (b) Lists the items described in s. SPS 131.32 that a home inspector has inspected.
 - (c) Describes the condition of any item identified in s. SPS 131.32.
 - (d) Describes the condition of any item identified in s. SPS 131.32 that, if not repaired, will have significant adverse effect on the life expectancy of the identified item.
 - (e) Lists any material adverse facts that a home inspector has knowledge of or has observed.
- (2) A home inspector is not required to report on any of the following aspects of items identified in s. SPS 131.32:
- (a) Their life expectancy.
 - (b) The reason for the necessity of a major repair.
 - (c) The method of making any repair or correction, the materials needed for any repair or correction, or the cost of any repair or correction.
 - (d) The suitability for any specialized use of an improvement to residential real property.
 - (e) Whether they comply with applicable regulatory requirements.
- (3) A home inspector may not report in writing or verbally on any of the following:
- (a) The market value or marketability of a property.
 - (b) Whether a property should be purchased.
- (4) A home inspector is not required to retain inspectors or investigators to perform follow-up inspections or investigations of any material adverse facts that a home inspector has knowledge of or has observed under sub. (1) (d)